

# Conservation Management Strategy

## Keira and Thomas Street Development Site

### 131–135 and 137–141 Keira Street, Wollongong

Report prepared for Sam Hanna

June 2017



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## Report Register



The following report register documents the development and issue of the report entitled Keira and Thomas Street Development Site, 131–135 and 137–141 Keira Street, Wollongong—Conservation Management Strategy, undertaken by GML Heritage Pty Ltd in accordance with its quality management system.

Job No.	Issue No.	Notes/Description	Issue Date
16-0217C	1	Draft Report	December 2016
16-0217C	2	Final Report	June 2017

## Quality Assurance

GML Heritage Pty Ltd operates under a quality management system which has been certified as complying with the Australian/New Zealand Standard for quality management systems AS/NZS ISO 9001:2008.

The report has been reviewed and approved for issue in accordance with the GML quality assurance policy and procedures.

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Cover image: First National Real Estate, Wollongong

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# 1.0 Introduction

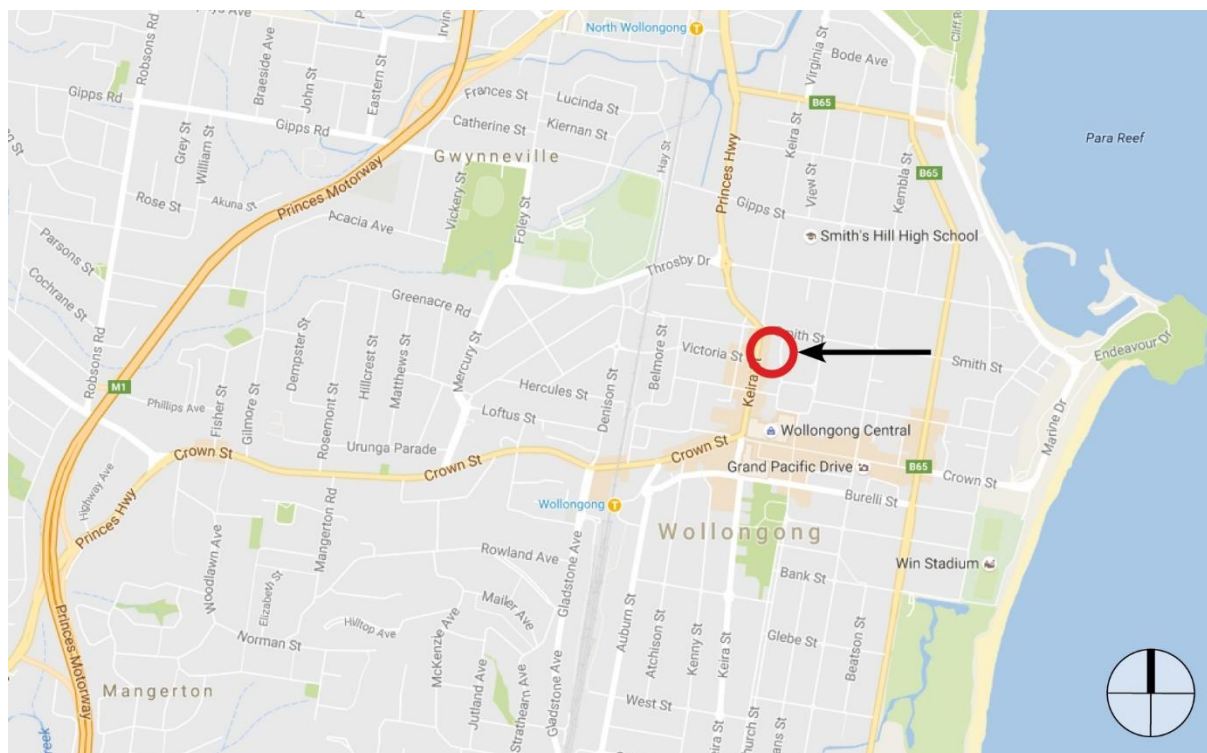
## 1.1 Introduction

The owner, Sam Hanna and Co, propose a residential development on a large amalgamated site addressing both Keira and Thomas Streets, Wollongong, involving Lots 1 and 2 DP 152849, Lots 2, 3 and 4 SP 12385, Lot 9 DP 5410890, Lot 8 DP 345880, and Lot C DP 65920. This amalgamated site is within the Wollongong central business district (CBD) and includes 131–135 and 137–141 Keira Street, which is part of a row of shops and associated residences—being a schedule 5 heritage item of local significance in the Wollongong Local Environmental Plan 2009 (WLEP 2009), listed as 131–147 Keira Street, Wollongong (Item no. 6255) (refer to Figures 1.1, 1.2, 1.4 and 1.5).

This Conservation Management Strategy (CMS) is an overarching conservation planning strategy, based on the guidelines of the NSW Heritage Council, and similar in scope to a Conservation Management Plan (CMP). This CMS is focused on the heritage item, however, it also addresses the amalgamated site in general and refers to the Archaeological Assessment and site history (which are included in the appendices).

This CMS outlines the significance of the item and includes conservation policy to manage the identified significance into the future. The policies are in section 3.0 of this report.

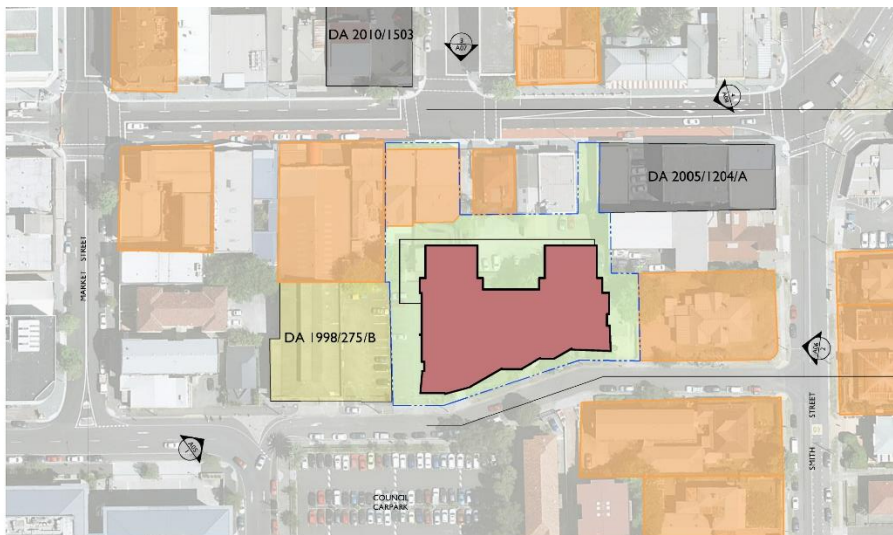
Wollongong City Council required various heritage documentation to inform a redesign of the new residential development and conservation of the heritage items which is summarised in section 1.2 below. Further details are provided in 1.2 below. The relationship of the proposed development footprint to the heritage item is shown in Figure 1.3.



**Figure 1.1** Plan showing location of the proposed development site. (Source: Google Maps with GML overlay)



**Figure 1.2** Location of the proposed development site (red outline) and 131–135 and 137–141 Keira Street, Wollongong (part of heritage item indicated by orange outline). (Source: Google Earth with GML overlay)



#### SITE LOCALITY PLAN

**Figure 1.3** Site Concept Plan—indicative location of subject heritage item outlined in red (Source: ADM Documentation October 2016, with GML overlay)

## 1.2 Background

The heritage item, 131–147 Keira Street, is a row of 1930s two-storey Inter-War commercial buildings with Art Deco detailing, which comprises three buildings; 131–135, 137–141 and 143–147 Keira Street, and includes shops on the ground floor with commercial/residential accommodation above and behind.

This report addresses part of the heritage item only; 131–135 and 137–141 Keira Streets. While there have been additions to the original buildings, they are otherwise relatively intact. There are several outbuildings of various ages to the rear.

In February 2016, the owner, Sam Hanna and Co., submitted a development application (DA-2016/178) for the amalgamated site. That DA involved the retention of the listed heritage item, demolition of all other extant buildings and construction of a seven storey commercial and residential building over two parking levels.

Prior to the withdrawal of DA-2016/178 in July 2016, Wollongong City Council (council) advised in a letter to the applicant dated 4 May 2016 (refer to appendices) that the following additional information was required as part of any future development application:

- revised plans addressing concerns of the Design Review Panel;
- a conservation management plan (CMP) for the heritage item (proposed to be retained);
- strata arrangements and funding mechanisms to be incorporated into the future owners' corporation to identify how the proposed development will ensure the ongoing future maintenance and conservation of the heritage items located on the site;
- future use and viability of the heritage item;
- demolition plan to clarify the extent of the proposed demolition, and clarification of how the buildings will be made good; and
- a brief archaeological assessment report.

These requirements were confirmed by council by the project team. In August 2016, GML Heritage (GML) was commissioned by Sam Hanna and Co. (client) to address the heritage matters raised by council.

## 1.3 Owner Requirements

The property owner seeks to redevelop the larger amalgamated sites known as 131 Keira Street, Wollongong, entailing the proposed:

- demolition of three residential properties, a shed and two carparks (not heritage listed);
- excavation for two basement levels;
- construction of a mixed use medium rise buildings with seven floors and two basement levels—the building will mostly be residential, but with commercial areas on the Thomas Street side of the ground floor (facing east) and the Keira Street side on the basement level 1 (facing west);

- construction of a single storey shop (with high ceilings) at the location of the current driveway on Keira Street (DP 510890), as well as a paved access route (laneway) and stairs to the residential area.

In relation to the conservation of heritage item, the property owners seek to:

- 131–135 Keira Street: upgrade original three shops, conserve residence above and retain later rear additions;
- 137–141 Keira Street: upgrade original two shops, conserve residence above, and return the two residences at the rear (2 and 3/137 Keira Street) to a single dwelling, including demolition of rear verandah additions;
- demolish the two garage structures at the rear of the heritage properties, and part of the residence to the rear of 137–141, as well as the ramp and retaining wall to the rear of 131–135; and
- landscaping, including the removal and introduction of new trees, as well as the introduction of paving, shrubs and a communal garden.

Drawings of the proposal prepared by ADM Architect will be referred to in the future Heritage Impact Statement.

## **1.4 Heritage Listings**

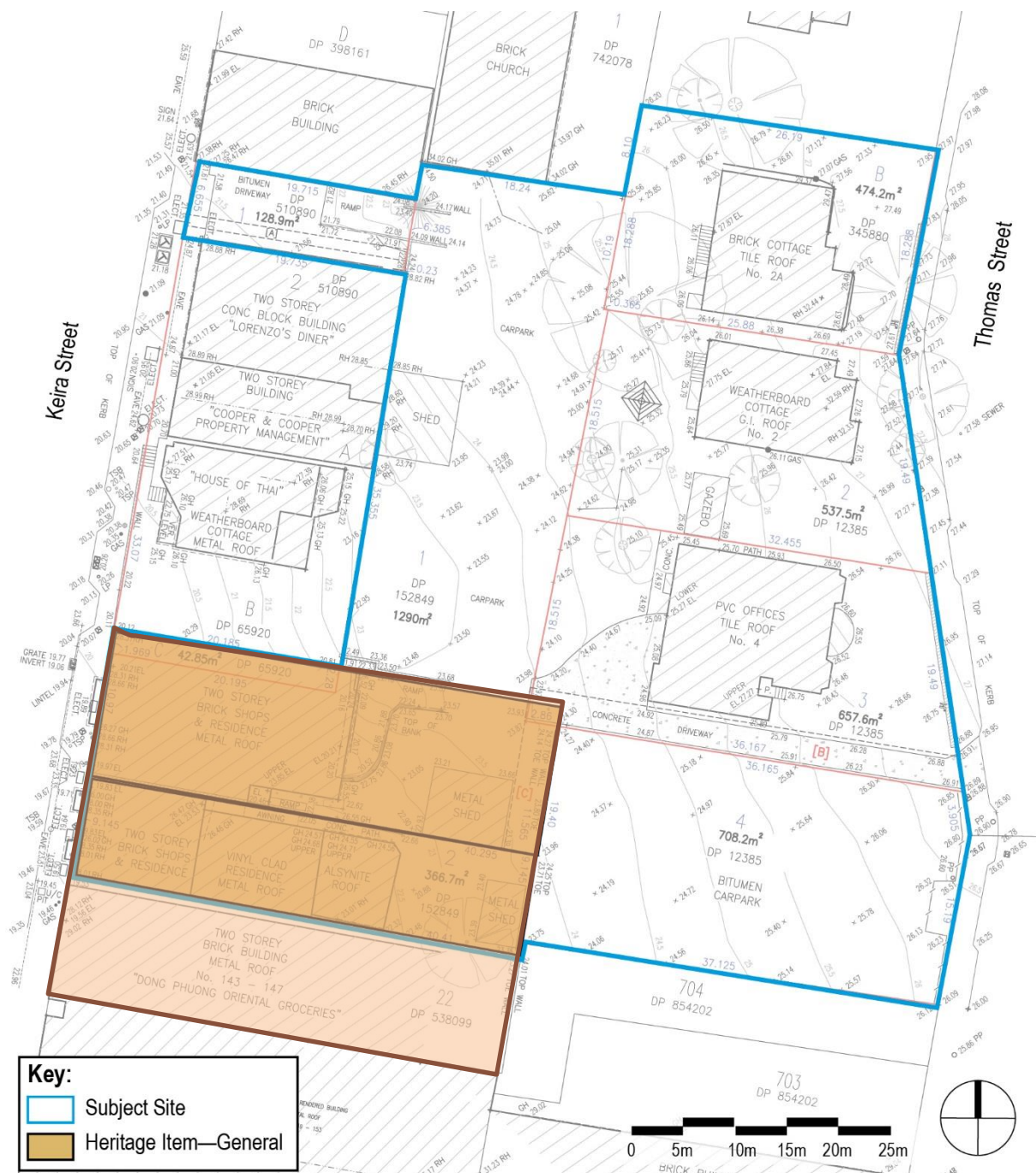
The group of three shop/residential buildings at 131–147 Keira Street, Wollongong (item number 6255), is included in Schedule 5 Environmental Heritage of the Wollongong City Council's Local Environmental Plan 2009 (WLEP 2009).

These three similar 1930s Inter-War commercial buildings are listed as one group; the subject site includes the two northernmost properties of the group.

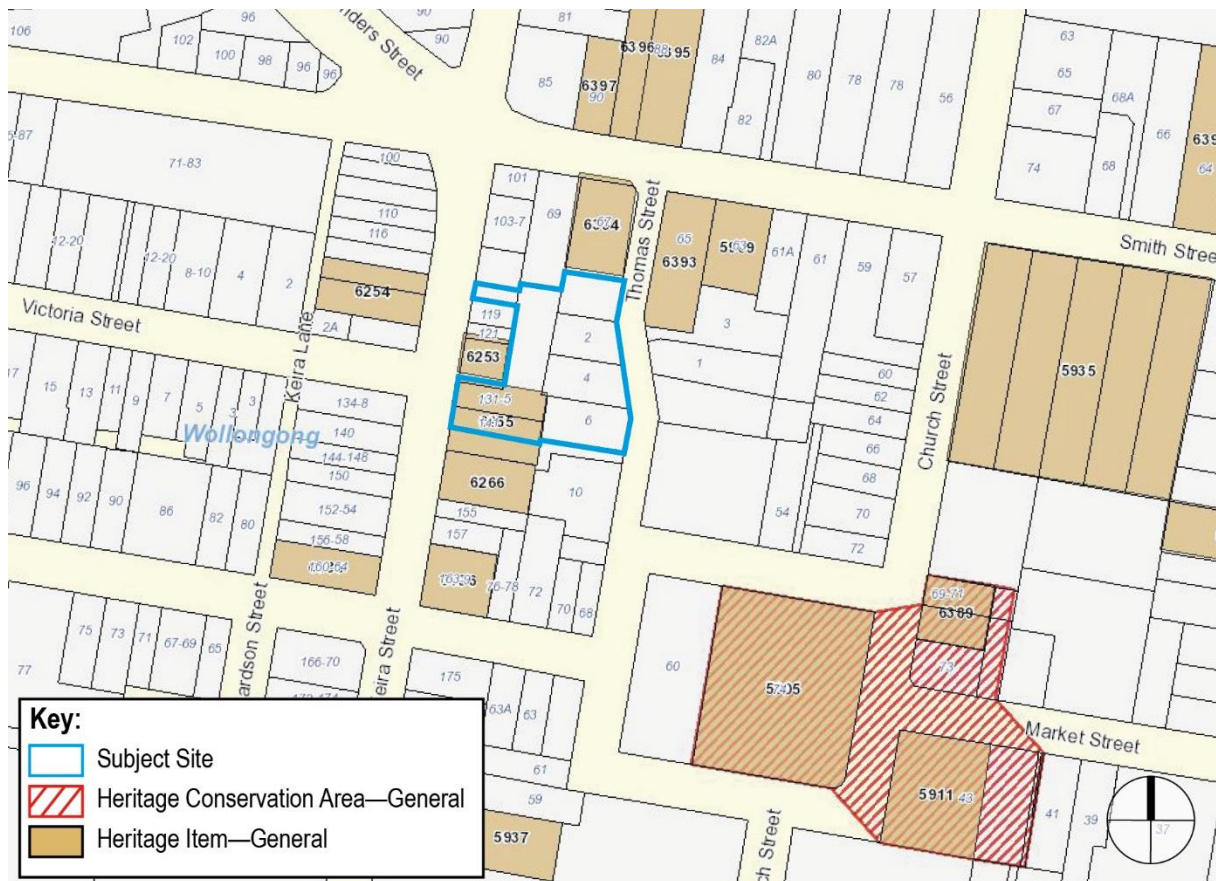
There are no other heritage listings within the amalgamated development site.

The development is in the vicinity of the Market Street Conservation Area and a number of listed heritage items. Of these, St Michael's Anglican Church of Australia—including the church hall and rectory—is the only one indicated to be of state heritage significance (refer to Figures 1.4 and 1.5).





**Figure 1.4** Site survey showing amalgamated sites proposed for development (blue outline) with heritage item No. 6255 (brown outline). (Source: C Robson & Associates Pty Ltd, 29 May 2015, with GML overlays)



**Figure 1.5** Locality plan showing heritage items on the subject site and relationship to heritage items in the vicinity and the Market Street Conservation Area. (Source: <<http://maps.wollongong.nsw.gov.au/dekhopublic/?map=4>> with GML overlay)

## 1.5 Building Identification

The following buildings / addresses exist at the property at present, and inspection and conservation / repair schedules are addressed as part of this commission:

- Suite 1, shop 1 (131), 131–135 Keira Street;
- Suite 2, shop 2 (133), 131–135 Keira Street;
- Suite 3, shop 3 (135), 131–135 Keira Street;
- Suite 4 (upstairs rear—commercial unit), 131–135 Keira Street;
- Suite 5 (upstairs street frontage—commercial use of residence), 131–135 Keira Street;
- Unit 1, 137 Keira Street (residential unit—street frontage);
- Unit 2, 137 Keira Street (residential unit—north half of house at rear);
- Unit 3, 137 Keira Street (residential unit—south half of house at rear);
- single garage, 137 Keira Street (rear of 137–141 Keira Street);
- double garage, 137 Keira Street (rear of 131–145 Keira Street);

- shop, 139 Keira Street; and
- shop, 141 Keira Street.

The above property identification is as provided by managing agent, First National (Refer Figure 1.6)



**Figure 1.6** Building identification, 131–135 and 137–141 Keira Street, Wollongong. (Source: ADM, overlay by GML November 2016)

## 1.6 Methodology

This CMS has been prepared with regard to the methodology outlined in the NSW Office of Environment and Heritage (OEH) website in regard to CMPs. OEH guidelines indicate that a CMS<sup>1</sup> is an alternative to a Conservation Management Plan (CMP) that may be used with items of local heritage significance. It is a briefer version of a CMP that will provide a broad overview of conservation approaches and targeted management guidance.

The site was visited on two occasions, 7 July 2016 and 12 September 2016, and all parts of the buildings were inspected except Unit 2/137, where access was not granted.

The intention of this CMS is to provide heritage guidance for care and conservation of the heritage items in the context of a planned redesign of the proposed development. It provides the framework for ongoing care and management of the property including decisions about its future use and development. This document is also intended to accompany development applications for future works and/or changes to the property to the relevant statutory authorities. The report has been structured to fulfil the requirements of a CMP in this case. Council's heritage officer has indicated support for the CMS approach.

This CMS is an overarching document incorporating the council's requirements in the policies, or as appendices to it. It follows the structure provided by OEH<sup>2</sup> (refer Appendix F) with key components of the CMS as follows:

### **Part 1—Investigation and Assessment**

- History, Analysis and Significance Assessment.

### **Part 2—Conservation Policy and Management**

- Conservation Approach;
- Owner Requirements, Building Use and Strata Plan considerations;
- Managing Change and Significant Fabric;
- Archaeology, Interpretation and Recording;
- Public Safety and other policies.

Within this structure the CMS provides guidance to the project design team and client, incorporating the requirements of council. The appendices include a number of separate documents:

- Single set of photographs provided in a separate document;
- Schedule of Conservation Works
- Demolition plan (provided by ADM Architects)
- Archaeological Assessment

The report includes elements of a standard CMP, where appropriate, based on the *NSW Heritage Manual* guidelines for the preparation of CMPs, modified by Heritage Council of NSW directions in September and November 2015.<sup>3</sup> It also follows the approach set out in *The Conservation Plan*<sup>4</sup> and the guidelines of the *Australia ICOMOS Burra Charter, 2013* (the Burra Charter).<sup>5</sup>



## 1.7 Definitions

The following definitions explain the terms commonly used in conservation planning or as used in this document. They have been drawn from the Burra Charter, the NSW Heritage Office publication *Heritage Terms and Abbreviations* (1996),<sup>6</sup> and The Conservation Plan by James Semple Kerr.<sup>7</sup>

Term	Definition
<b>Adaptation</b>	Modification of a heritage item to suit a proposed use (but not to the detriment of cultural significance).
<b>Conservation</b>	<p>All the processes of looking after a place so as to retain all its cultural significance. Conservation includes maintenance and may, according to circumstance, include preservation, restoration and adaptation and will more commonly be a combination of these.</p> <ul style="list-style-type: none"> <li>• Maintenance—The continuous protective care of the fabric, contents and setting of a place. It should be distinguished from repair. Repair involves restoration or reconstruction.</li> <li>• Preservation—Maintaining a place in its existing state and retarding deterioration.</li> <li>• Reconstruction—Returning a place to a known earlier state, distinguished by the introduction of new material into the fabric (but not to the detriment of cultural significance).</li> <li>• Restoration—Returning the existing fabric of a place to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.</li> </ul>
<b>Conservation Management Plan (CMP)</b>	A document explaining the significance of a heritage item, including a heritage conservation area, and proposing policies to retain that significance. It can include guidelines for additional development or maintenance of the place.
<b>Conservation Management Strategy (CMS)</b>	An alternative to a full CMP is a conservation management strategy (CMS). A CMS is a briefer version of a CMP that will provide a broad overview of conservation approaches and management guidance.
<b>Cultural significance (Heritage significance)</b>	Aesthetic, historic, scientific, social or spiritual value for past, present or future generations. Cultural significance is embodied in the place itself, its fabric, setting, use, associations, meanings, records, related places and related objects. Places may have a range of values for different individual components, fixtures, contents and objects.
<b>Conservation Policy</b>	A proposal to conserve a heritage item arising out of the opportunities and constraints presented by the statement of heritage significance and other considerations.
<b>Fabric</b>	The physical material of the place including components, fixtures, contents and objects.
<b>Streetscape</b>	The distinguishing character of a street which is created by its width, degree of curvature, paving materials, design of street furniture, forms of surrounding buildings.
<b>Values</b>	The various values embodied in cultural heritage are considered in order to assess significance. Values may compete and change over time, and different people may have different values. The various values together show cultural heritage significance.

## 1.8 Author Identification

This report has been prepared by the following team at GML:

- Catherine Macarthur, Associate, who co-ordinated the project, and prepared the CMS report;
- Madeline Shanahan, Archaeology Manager, and Sophie Jennings, Consultant, who prepared the site history and Archaeological Assessment; and
- Sharon Veale, CEO/ Partner, who provided policy input and reviewed the report.

## 1.9 Acknowledgments

GML acknowledges the assistance of Joel Thompson, Heritage Officer at Wollongong City Council, (council) for advising on the project requirements; Mark Grayson and Sophie Litherland of Knight Frank Town Planning for coordination of the project team; Angelo Di Martino of ADM Architects for providing the base drawings used in this report; and Ted Hanson and Nikki Meldrum of First National Wollongong for kindly arranging access to the buildings for site inspections.

## 1.10 Limitations

This document does not include:

- heritage assessment of built heritage items (or places of potential heritage value) outside of heritage item No. 6255 (131–147 Keira Street);
- detailed research or analysis of the part of the heritage item which is outside the amalgamated site (139–147 Keira Street);
- a formal consultation process to assess community association with the heritage items;
- an assessment of the potential for Aboriginal cultural material to occur at the place (and does not form part of an application under the *National Parks and Wildlife Act 1974* [NSW]); or
- issues associated with natural values, including flora and fauna.

In a letter from Wollongong City Council<sup>8</sup> requesting additional information on the proposed development, there was no specific request for an assessment of the Aboriginal archaeological potential of the site and therefore this has not been undertaken. It was agreed by council's heritage office that a due diligence report in regard to Aboriginal heritage was not warranted on the site.

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## 1.12 Endnotes

- <sup>1</sup> NSW Office of Environment and Heritage 2013, 'Conservation Management Plans', viewed 8 November 2016 <<http://www.environment.nsw.gov.au/Heritage/conservation/managementplan.htm>>.
- <sup>2</sup> NSW Office of Environment and Heritage 2013, 'Conservation Management Plans', viewed 8 November 2016 <<http://www.environment.nsw.gov.au/Heritage/conservation/managementplan.htm>>.
- <sup>3</sup> NSW Department of Urban Affairs and Planning and the Heritage Council of NSW 1996, 'Guidelines for the Preparation of Conservation Management Plans', *NSW Heritage Manual*, amended July 2002.
- <sup>4</sup> Kerr, JS 2000, *The Conservation Plan*, fifth edition, National Trust of Australia (NSW), Sydney.
- <sup>5</sup> Australia ICOMOS Inc, *The Burra Charter: the Australia ICOMOS Charter for Places of Cultural Significance 2013*, Australia ICOMOS Inc, Burwood Vic.
- <sup>6</sup> NSW Heritage Office 1996, 'Heritage Terms and Abbreviations', *NSW Heritage Manual*, Department of Urban Affairs and Planning, Sydney.
- <sup>7</sup> Kerr, JS 2000, *The Conservation Plan*, fifth edition, National Trust of Australia (NSW), Sydney.
- <sup>8</sup> Wollongong City Council, 'Additional Information Required. Application DA-2016/178', letter, 4 May 2016.

## 2.0 Strategy Part 1—Investigation and Assessment

### 2.1 Introduction

This section includes a summary history, physical description, investigation into the context and assessment heritage significance for the heritage items, 131–135 and 137–141 Keira Street, Wollongong.

A more detailed history and an archaeological assessment for the site are included as appendixes.

### 2.2 Summary History

The tables below summarise the historical research regarding the extant structures at 131–135 and 137–141 Keira Street. As there is little documentary evidence for either site, analysis historic photographs and physical evidence has informed the content of the tables. Council advised that due to a fire, records documenting building development approvals prior to the 1960s are unavailable.

The history (refer to Appendix J) identifies that 131–135 Keira Street, along with adjacent sites within the same block, has historical associations with the business of funeral services for the Wollongong community for over 110 years, and the Parsons family for approximately 100 of those years.

Limited historical evidence specific to 137–141 Keira St was located, but due to its similarity of shop/residence form and architectural style, it is assumed to also date from the mid-1930s.

**Table 2.1** Summary History of the Parsons Family in Relation to 131–135 and 137–141 Keira Street.

Year	Parsons Family Activity
1880s–1893	William Hutson's undertaking business operated from 152 Keira Street.
1893	Henry Parsons bought the undertaking business from Hutson.
1909	Henry Parsons acquired land at 131–135 Keira Street.
1909	Henry Matthew Parsons (carpenter) issued Part A of 137–141 Keira Street. Arthur Williams Parsons (hairdresser) issued Part B of 137–141 Keira Street.
1923	Henry Parsons moved the undertaking business to 135 Keira Street.
1924	Henry Parsons acquired No. 4 Thomas Street (to the rear of 135 Keira Street), and is assumed to have developed the current house shortly after. (The house style is consistent with that era.)
1933	Henry Parsons deceased, and his son Alfred Reuben Parsons acquired the company.
1935	Alfred Reuben Parsons (son of Henry) developed the current shop/residence (above) building at 131–135 Keira Street.
1950	John Henry Parsons (son of Alfred) commenced work with the family company, aged 15 years.
1970s	Parsons family assumed to no longer operate from the Keira Street premises from this period. Other funeral homes owned by the family were established at Bulli (1951), Warilla (1981) and Dapto (1992).
1970s	Parsons family assumed to no longer operate from the premises from this period. Other funeral homes owned by the family were established at Bulli (1951), Warilla (1981) and Dapto (1992).
1992	Alfred Parsons, managing director, deceased. His son John, and grandsons Mark and Alan, are associated with the family business.
1911	John Henry Parsons, son of Alf Parsons, and managing director deceased. Managing director from 1992 or earlier, until 1911 when he died. His son Alan is managing director from c1911.

Site owners have included:

- 1893—Henry Parsons who bought the undertaking business from Hutson;
- 1909—Henry Mathew Parsons (carpenter) and Arthur Williams Parsons (hairdresser) associated with the site, 137–141 Keira Street;
- 1935—Alf Parsons, son of Henry Parsons and undertaker, developed the current shop buildings (deceased 1992);
- John Parsons—son of Alf Parsons, Managing Director (deceased 2011); and
- c2011 to present—Alan Parsons, Funeral Director / Managing Director (fourth generation).

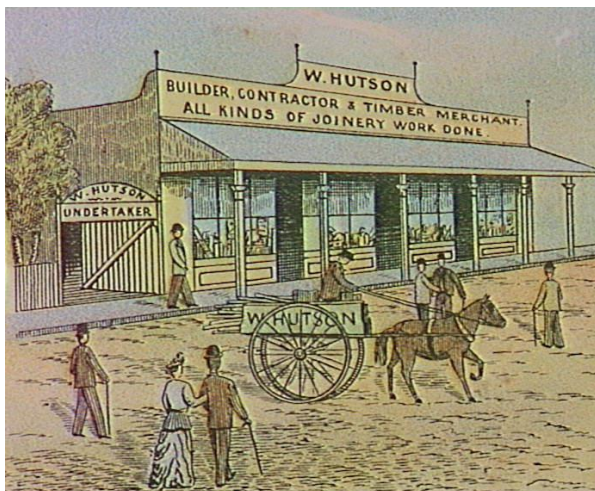
**Table 2.2** Site History.

Year	Site Activity
<b>131–135 Keira Street (Lot 1 DP 152849)</b>	
Pre 1935	Building on site by 1920. Refer to Appendices—History for further detail.
1933	Formation of Thomas Street at rear.
1935	Shops (x 3) buildings with residence above and rear attached hipped roof structure—assumed to have been built at one time.
c1940s	Outbuilding/garage built. Various outbuildings to the rear of other Keira Street shops and Thomas Street residences.
c1950s/60s	Rear attached building replaced by single storey structure with skillion roof, including coffin ramp.
1980s–present	Rear attached building extended up, now a two-level building. Shops modified including new shopfronts, and some internal partitions.
<b>137–141 Keira Street (Lot 2 DP 152849)</b>	
Pre 1935	Building on site by 1920. Refer to Appendices—History for further detail.
1933	Formation of Thomas Street at rear.
1935	2 x shop buildings with residence above and rear attached hipped roof structure—assumed to have been built at one time.
c1950s/70s	By 1977 there was another small outbuilding to the rear, likely to be the current rear outbuilding.
1980s–present	Shops modified including new shopfronts, and some internal partitions.
<b>143–147 Keira Street (Lot 2 DP 538099)</b>	
1935	Not researched, presumed built in 1935.

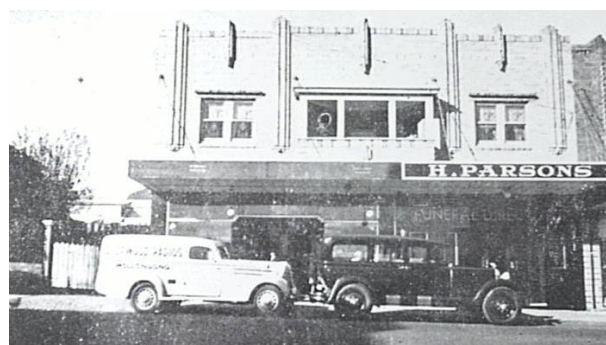




## 2.2.1 Historic Images Overview



**Figure 2.2** W Hutson, Undertaker, at 152 Keira Street, Wollongong, c1892. (Source: Illawarra Images, P07526)



**Figure 2.3** H Parsons Funeral Director at 131-141 Keira Street, 1937. Note shopfronts and residence above with open balcony, and gate/driveway to north (left hand side of image). (Source: Illawarra Images, No. P14/P14365)



**Figure 2.4** 131-135 and 137-141 Keira Street, Wollongong, c1970s. (Source: Illawarra Images)



**Figure 2.5** 131-135 and 137-141 Keira Street, Wollongong. (Source: GML, 2016)



**Figure 2.6** Parsons family residence at 4 Thomas Street, Wollongong, c1937. (Source: Wollongong City Libraries, ref. P20/P20591)



**Figure 2.7** 4 Thomas Street, Wollongong, 2016. (Source: Google Street View, accessed 9 February 2016)

## 2.2.2 Historic Themes

This section provides a summary of the relevant historic themes for 131–141 Keira Street, Wollongong from *A Thematic History of the City of Wollongong*, prepared by Dr Terry Kass for Wollongong City Council, December 2010. The table immediately below presents the Wollongong themes against the relevant Australian and NSW historic themes. Historic themes provide information useful for assessing heritage significance.

**Table 2.3** Historic Themes Summary—Wollongong.

Theme Section	Wollongong Theme	NSW Theme	Australian Theme
-	no corresponding NSW theme	Events	3. Developing local, regional and national economies
1.3.2	Establishing a regional centre at Wollongong	Towns, suburbs and villages	4. Building settlements, towns and cities
1.3.8	Creating a city after 1948		
1.6.3	Providing utility services	Utilities	
1.5.2	Housing in villages and suburbs	Accommodation	8. Developing Australia's cultural life
1.6.5	Observing religious practices	Religion	
1.6.7	Supplying retailing and financial services	Commerce	
1.7.7	Entering and leaving worldly existence	Birth and Death	9. Marking the phases of life
-	no corresponding NSW theme	Persons	

The *NSW Heritage Manual* identifies a specific set of 'Historical Themes relevant to New South Wales' within which the heritage values of the place can be examined. Although the historical themes are general and heritage items are likely to relate to more than one theme, they facilitate an understanding of the historical context of the heritage item. Relevant historical themes for 131–135 and 137–141 Keira Street are summarised in the table below.

**Table 2.4** NSW Historical Themes Relating to 131–135 and 137–141 Keira Street.

NSW Historical Theme	Relationship to 131–135 and 137–141 Keira Street
Persons	The Parsons family, prominent in the Wollongong community for four generations and over 120 years, have strong associations with the site, developing it for their funeral direction and undertaking business with residential accommodation over. A separate house was also built for the family on Thomas Street.
Commerce	<p>The Parsons undertaking and funeral business is significant at a local level as it has provided services to many generations of the Wollongong community since the 1890s, and continues to do so. The provision of funeral directing and undertaking services by W Hutson operated from 152 Keira Street (nearby) from the 1880s, and from 1893 by Henry Parsons at this site.</p> <p>The Parsons family operated from the subject site nearby from 1935 until the 1970s, and represents the growing needs of a developing regional community. This purpose built funeral direction and undertaking commercial shopfront business had associated residential accommodation, as was common at the time</p> <p>The Parsons family provided undertaking and funeral services from the two premises in Keira Street for approximately 80 years, and now have three premises in the Illawarra region.</p>



NSW Historical Theme	Relationship to 131–135 and 137–141 Keira Street
Religion	Religious associations of the local community with the Parsons family undertaking business have not been investigated, however, it is likely that services were for families of a number of predominantly Christian faiths over time.
Accommodation	<p>After World War II the need for housing in Wollongong increased and a variety of housing types started to emerge, including residential flat buildings.</p> <p>The residences associated with the subject site are typical shop top housing, and provided a form of accommodation close to the work place, not unlike a residential flat in accommodation style.</p> <p>Even though there were several local brickworks, timber/weatherboard were the most commonly used building materials for accommodation in Wollongong throughout the early 1900s as they were more economical.</p>
Towns, suburbs and villages	<p>Settlement of Wollongong commenced in the early 1800s and the town plan of 1834 established sites for public buildings.</p> <p>The interwar period of 1934–1939 resulted in a significant period of growth in housing in the Central Illawarra municipality.<sup>1</sup></p>
Birth and death	Undertaking and funeral events in Keira Street since the 1880s and from 1935 to the 1970s at the subject property are of great significance to many in the Wollongong community over the past 120 years. While each event is not necessarily of significance locally, collectively the ceremony and congregation of people associated with funerals in Wollongong are relevant at this site.
Events	As above.

### 2.2.3 Historical Archaeology

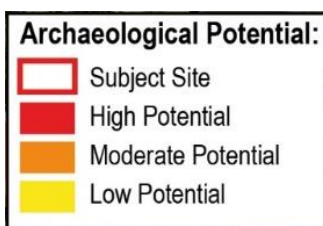
The Historical Archaeological Assessment (HAA) report<sup>2</sup> in Appendix J of this CMS evaluates the site's potential to contain historical archaeological resources and the significance of any resources, potential impacts which may arise from the development on the site's archaeological resource, and recommendations for mitigation of these impacts. The HAA encompasses the entire Keira and Thomas street's site area, comprised of 131–135 and 137–141 Keira Street (Lots 1 and 2 DP 152849 and Lot C DP65920), 115–117 Keira Street (Lot 7 DP 510890), 2A Thomas Street (Lot B DP 345880) and 2, 4 and 6 Thomas Street (Lots 2, 3 and 4 SP 12385).

Below is a summary outlining the potential for and significance of archaeological remains which may be present within the site, along with the impacts of the development and measures intended to mitigate against the potential impacts:

- Approximately 70 per cent of the site is considered to have a moderate or high potential for archaeological remains based on the limited extent of previous development impacts.
- The site has a moderate or high potential for structural remains and artefact deposits associated with late nineteenth or early twentieth century buildings and sheds. The site has a low to moderate potential for evidence of nineteenth century agricultural development.
- The potential archaeological remains are considered to be of local significance as evidence of the early history and development of the city of Wollongong.
- The potential impacts arising from the proposed development comprise demolition, basement excavation, excavation for new services and renovation works of the heritage buildings which

would result in the partial or complete removal of archaeological remains within the development footprint.

- The proposed mitigation measures would comprise a program of test excavation to determine the nature and extent of the potential archaeological remains, followed by either archaeological monitoring or open area excavation depending on the results of testing. Interpretative measures could be used to disseminate the results to the wider community.



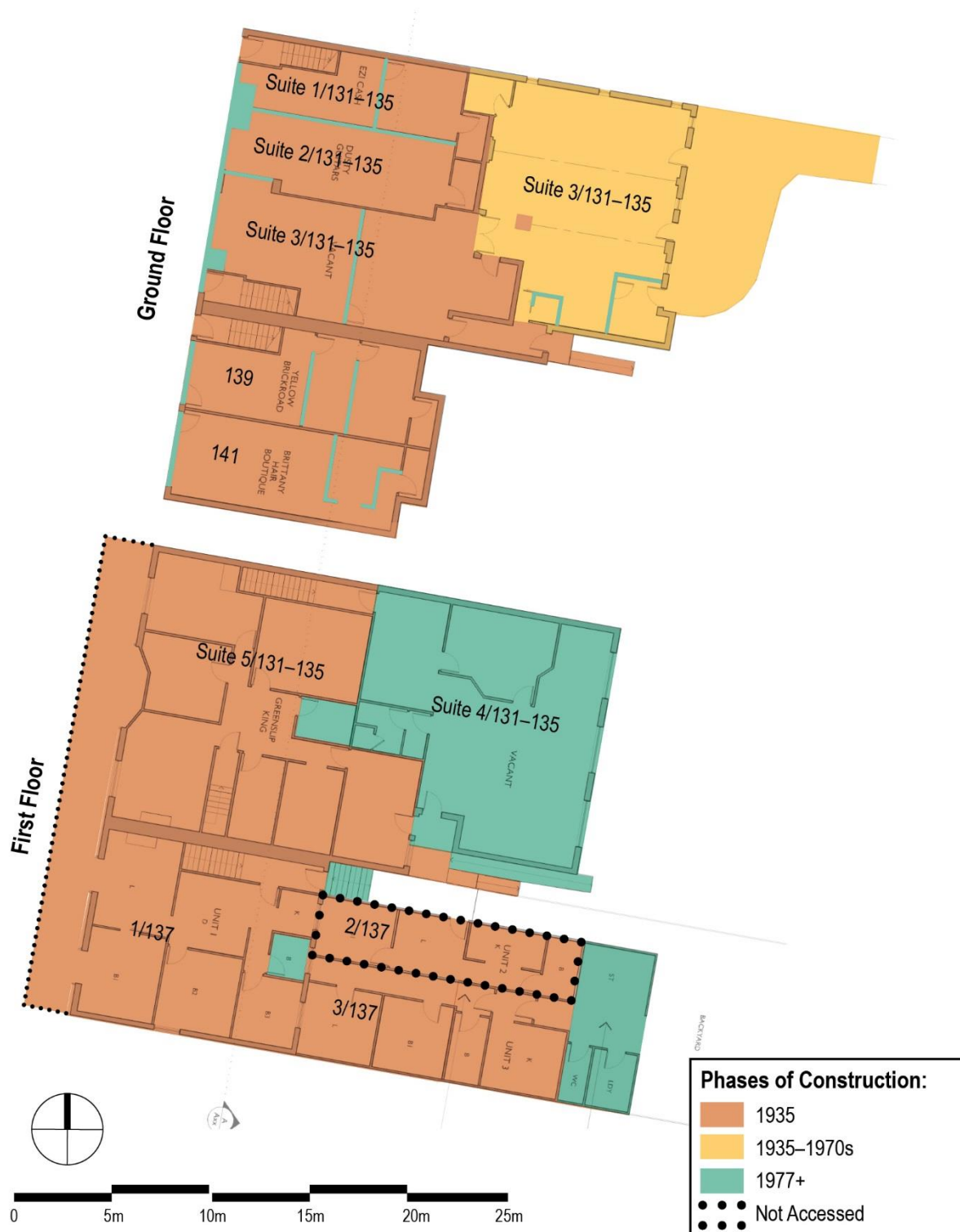
**Figure 2.8** Plan of the subject site showing assessed archaeological potential. (Source: NSW LPI with GML overlay; repeat of Figure 4.2 in the AA)

## 2.3 Phases of Construction

The following diagram provides indicative phases of construction for heritage items 131–135 and 137–141 Keira Street.

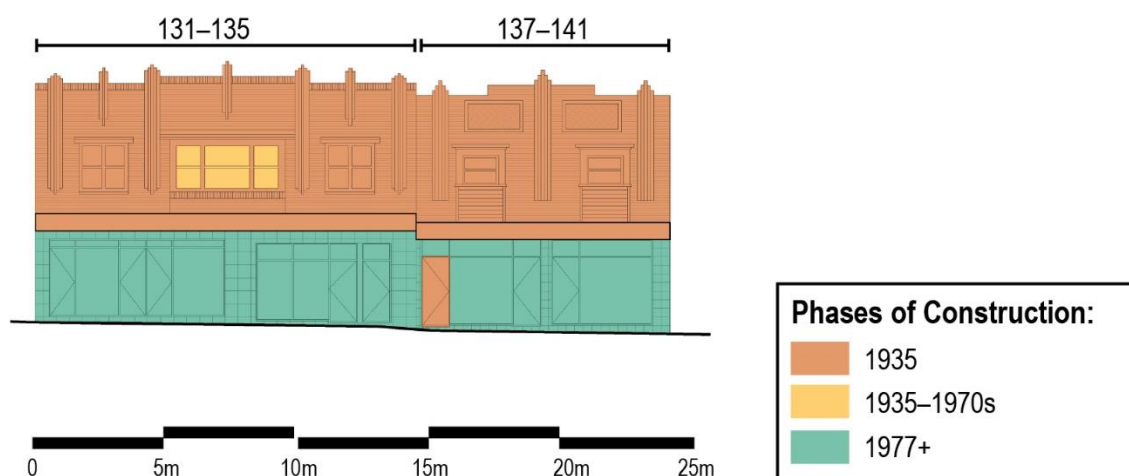


**Figure 2.9** Site plan—phases of construction. (Source: C Robson & Associates Pty Ltd, 29 May 2015, with GML overlays)



**Figure 2.10** Ground and upper floor plans—phases of construction for main structures on the sites. (Source: ADM Documentation October 2016, with GML overlay)





**Figure 2.11** North elevation—phases of construction. (Source: ADM Documentation October 2016, with GML overlay)

## 2.4 Comparative Analysis

This section provides a brief comparison of Nos 131–135 and 137–141 Keira Street (and No. 143–147) in the context of places with which it shares key features, characteristics and/or historical themes including:

- Interwar brick commercial and residential buildings of Wollongong; and
- Art Deco commercial shopfronts.

This comparative analysis is considered preliminary and based on desktop assessment. It is based on the historic research and images in *Twentieth Century Architecture in Wollongong* (Wollongong City Council, Robert Irving, 2001) and *A Pictorial Guide to Identifying Australian Architecture* (Angus and Robertson, by Apperly, Irving and Reynolds). Detailed research has not been carried out on these properties.

### 2.4.1 Interwar Brick Commercial/Residential Buildings

Local comparisons with other brick buildings include Lang's Corner and the former Administration Building of the Commonwealth Rolling Mills. A number of other interwar Art Deco brick buildings in the vicinity could also have been used for comparison, such as the Hotel Illawarra, also in Keira Street. More broadly, the larger scaled residential flat building, Hillside Flats in Edgecliff, Sydney has been used for comparison.

#### 131–145 Keira Street, Wollongong

The subject buildings of 131–145 Keira Street are a group of interwar shop/residences in the CBD of Wollongong. The group, comprising three separate buildings, is largely intact and displays typical Art Deco detailing externally and internally. These buildings make a positive contribution to the streetscape and key significant external features include: polychrome face brick faces with decorative parapet with vertical motif, suspended awning, timber windows. Externally, the loss of original shopfronts and modern awning lining has had some impact on the building's architectural and aesthetic integrity. Late twentieth century rear additions respect the street front form of the buildings. Internally, the residences are largely intact with original internal layout, joinery, ceilings, etc (above and

behind). The shops also retain general layout with some ceilings, cornices and other architectural detailing.

### **95–109 Crown Street, Wollongong**

Langs Corner at 95–109 Crown Street built c1930s (refer to Figure 2.12) compares with the subject building as a polychrome face brick building of a similar scale. The decorative brick parapet detailing, and signage panels has been removed. The awning is intact, with original Art Deco detailed pressed metal lining. While the Crown Street building has not been inspected internally, it appears that the Keira Street buildings, while similar, were less ornamental originally, yet now retain a higher degree of integrity as typical Art Deco shop/residences.

This building is not a listed heritage item in the WLEP 2009.



**Figure 2.12** 131–145 Keira Street, Wollongong. Nos 143–147, also part of the heritage item group, but not part of subject site, is to the right hand side of the image. (Source: GML Heritage, 2016)



**Figure 2.13** Langs Corner, 95–109 Crown Street, Wollongong. Note the brick building, St Andrew's Church, behind. (Source: Images of Yesteryear website, accessed October 2016 <<https://www.imagesofyesteryear.com.au/products/view/wollongong>>)

### **Administration Building, Commonwealth Rolling Mills, Port Kembla**

The (former) Administration Building of Commonwealth Rolling Mills (refer to Figure 2.14) built in 1938 is a larger scale commercial building. This symmetrical building displays similar characteristics of face brick articulated by piers defining bays with vertical recesses which continue above the parapets.<sup>3</sup> This building demonstrates a period of expansion in the Wollongong area, similar to expansion in Wollongong's CBD, and a similar choice of Art Deco style and materials of a high quality, yet modest design features, to those of the subject group of buildings.

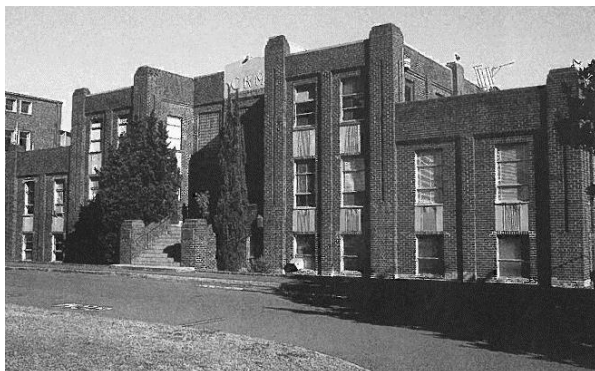
This building is listed as a heritage item in the WLEP 2009.

### **Hillside Flats, Edgecliff Road, Edgecliff, Sydney**

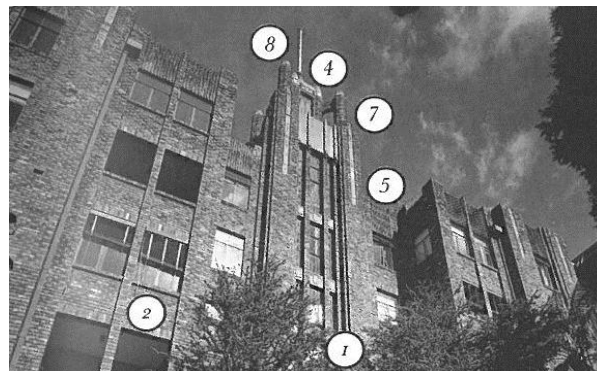
The Hillside Flats, built in 1936, is a six level brick building designed and used for residential purposes (refer to Figure 2.14). The building's design and detailing typifies the Art Deco period and style in its expression of height through vertical elements. This building is classified as 'inter-war skyscraper gothic'<sup>4</sup> and is much grander than the subject buildings. It provides a broader comparison in NSW, and indicates international influence of the United States, and the economic growth and development of Sydney at the time.

In summary, the subject buildings, 131–145 Keira Street, are typical Art Deco brick commercial/residential shop buildings from the interwar era in Wollongong that retain a high degree of integrity externally and internally. While modest in scale and detail, their quality and degree of integrity

is rare which may be explained by the continuous ownership (until recently) of the properties by the original family, and likely occupation by the owners of the shops and residences.



**Figure 2.14** Administration Building, former Commonwealth Rolling Mills, 1938. (Source: *Twentieth Century Architecture in Wollongong*, Robert Irving, Wollongong City Council, 2001, p 72)



**Figure 2.15** Hillside Flats, Edgecliff Road, Sydney. (Source: *A Pictorial Guide to Identifying Australian Architecture*, Apperly, Irving and Reynolds, Angus and Robertson Publishers, 1989, p 193)

## 2.4.2 Art Deco Commercial Shopfronts

Comparison is made with GA Zink and Sons shopfront, in Oxford Street, Sydney (refer to Figure 2.16). This archetypal NSW shopfront demonstrates ‘faith in the pervasive technology of metal and glass’<sup>5</sup> and influences from Europe (Paris Exposition des Arts Decoratif et Industriels Modern, 1925) and the US skyscraper style. The stylised Art Deco lettering also demonstrates international influence.

While the shopfronts of 131–135 and 137–141 Keira Street have gone, photographic evidence shows the direct, or indirect, international influences on the design of the building and its original shopfront.

The photograph of the original and largely glazed shopfront with a central entry could provide inspiration for replacement shopfront design (refer to Figure 2.17). Note the original shopfronts still remained in the 1970s.



**Figure 2.16** GA Zink & Sons, Oxford Street, Sydney. (Source: *A Pictorial Guide to Identifying Australian Architecture*, Apperly, Irving and Reynolds, Angus and Robertson Publishers, 1989, p191)



**Figure 2.17** 131–135 Keira Street, shopfront, 1937, providing evidence of original Art Deco detail, since replaced by aluminium framed glazed shopfront windows. (Source: Illawarra Images, No. P14/P14365; refer to Section 2.2.1)





**Figure 2.18** 131–135 Keira Street, H Parsons shopfront (no date), providing evidence of original Art Deco detail, since replaced by aluminium framed glazed shopfront windows. (Source: H Parsons Funeral Directors <<http://hparsons.com.au/services/history/>>)



**Figure 2.19** 131–135 and 137–141 Keira Street, Wollongong, c1970s. (Source: Illawarra Images; refer to Section 2.2.1)



**Figure 2.20** 131–135 Keira Street, H Parsons shopfront (no date, c1970s), providing evidence of original Art Deco detail to shops, signage and awning lining, since replaced by aluminium framed glazed shopfront windows. (Source: H Parsons Funeral Directors <<http://hparsons.com.au/services/history/>>)



### 2.4.3 Art Deco Kitchens

The three largely original Art Deco kitchens of the residences at Suite 5/131–135, 1/137 and 3/137 Keira Street are shown below. Preliminary comparison and analysis suggests the remaining kitchens are largely intact, and are likely to be increasingly rare, they are considered to be typical examples of kitchens of the period.

Comparison is made with a high-end kitchen of the era demonstrating similar key features, sourced from the internet (Europe). Further research is not readily available, or necessarily warranted.



**Figure 2.21** Kitchen at Suite 5/131–135 Keira Street. (Source: GML Heritage, 2016)



**Figure 2.22** Kitchen at 1/137 Keira Street. (Source: GML Heritage, 2016)



**Figure 2.23** Kitchen at 3/137 Keira Street. (Source: GML Heritage, 2016)



**Figure 2.24** Typical high end 1930s kitchen (Europe). (Source: <<http://retroigolo.blogspot.com.au/2010/05/cuisineverbiste.html>> accessed October 2016)

## 2.5 Physical Evidence—Description, Analysis and Design Modifications

This section provides a description of each heritage item, by exterior and interior, followed by design modifications. The table following provides an analysis of the physical evidence with historic documentation. Photograph sheets are provided in the Appendices.

### 2.5.1 131–135 Keira Street—Shops and Residence

#### Exterior

The front elevation of 131–135 Keira Street comprising three shop buildings of two levels, with shopfronts at street level and fenestration including bay windows and infilled verandahs on the upper level. The building's external walls (including a stepped parapet wall to the street, and the rear/sides) are typical walls associated with a skillion roof. The Keira Street walls are polychrome face brick, symmetrical in design with decorative features including vertical brick fins defining bays. The brick walls to the side have no architectural decorative features of note, although there are vents windows, services and signage. The roof is a skillion roof falling to the rear, clad with sheet metal with no evidence of chimneys (regarding internal fireplaces).

The shopfronts are modern glazed windows/doors with aluminium frames. While there are various tiled surrounds to the sides of the windows, there is no evidence of the earlier shopfronts. The awning appears original in form, suspended by original rod and fixing. The awning roof was not inspected, however, it is evident that the cladding and linings have been replaced. Above the awning, there are two pairs of timber double hung windows which appear original on either side of an enclosed verandah enclosed by matching windows. The lead light windows either side of the verandah are original.

The rear addition to the building is a modern brick structure with evidence of the lower level being built c1950s/60s before the upper level c1980s. This addition integrates with the skillion form of the original building, the roof form continuing the slope of the skillion to the rear. Associated with the 1950s/60s rear addition is a steep narrow ramp (and retaining walls) leading from the higher level yard to the ground floor open space. This is assumed to have been used for transporting coffins to and from the rear of shop 3/135–135 Keira Street.

The outbuilding, directly behind the main 131–135 Keira Street building, appears to be a typical double garage structure clad in fibro sheeting with a sheet metal roof and two modern single garage doors facing north. It was not inspected internally.

#### Interior

The building generally retains its original layout, which is shown on floor plans (Figure 2.10). The main structure includes the three shops on ground level, with a residence and commercial premises above. The floors are generally timber.

The shops are long and narrow spaces, divided by various modern partitions internally. To the rear of the shops at Nos 131 and 133 there is a small bathroom, with basin outside. The joinery, ceilings and other architectural features indicate that these spaces are largely in their current form. While all shops have decorative ceilings, No. 135 has a higher level of Art Deco architectural detailing of the ceilings and walls, indicating its use and access by the public in relation to the undertaking business. There is no bathroom in the shop of No.135.

The entry to the residence retains its original door and terrazzo threshold. The residence above, accessed by an original stair (south end), is largely in original condition with minor modifications

involving the bathroom, kitchen and internalisation of rear verandah. The rooms are domestic in scale and character, with high quality Art Deco architectural features in the ceilings, ceiling roses, fireplace surrounds, windows, doors and associated timber joinery including architraves, picture rails and friezes.

The ground level space accessed from the rear of Suite 3/131–135 is essentially an open space with smaller amenity rooms.

The commercial office to the rear comprises standard modern office spaces with partition walls, offices, kitchenette and a bathroom. It is accessed by another original stair (north end), raising the question of what space this stair led to originally, as the residence has its own dedicated stair from Keira Street to the south of the building.

### Design Modifications

The fabric of the building shows that the rear of the building (north wall) was added to in two stages: ground level, followed by a second storey. This addition did not impact the front section (shops and residence) of the building, with the exception of the internalisation of the rear of the residence. Modifications are summarised in the table below. The bathroom and kitchen on the upper level have been modernised. The central projecting verandah on the first floor facing Keira Street has been enclosed with timber double hung windows (the 1937 historic photo shows this verandah as open). The modern glass and aluminium shopfronts are not original, and the entry space to each shop and stairway has a modern tiled floor.

**Table 2.5** Analysis Summary for 131–135 Keira Street (Lot 1 DP 152849).

Date	Analysis
Pre 1935	Building on site by 1920. Refer to Appendices—History for further detail.
1933	Formation of Thomas Street at rear.
1935	Current site developed by Alf Parsons for the family undertaking business, after taking over his father's (Henry Parsons) business which formerly operated from 152 Keira Street (building presumed demolished). The shop buildings with residence above and rear attached hipped roof structure are assumed to be have been built at this time.
Late 1930s–1970s	The historic aerial photograph of 1948 shows that there are three main structures on the site: the shop, the rear attached building and an outbuilding. <ul style="list-style-type: none"> <li>The rear attached building appears cruciform in plan, has a hipped roof, and is likely to have been built at the same time as the Keira Street shop building. It is thought to have been a chapel associated with the undertaking business.</li> <li>The separate outbuilding is likely to be the current garage in this location.</li> </ul> There are other small buildings shown in 1948 within the current Lot 1 DP 152849 which appear to be sheds associated with the shops and houses of Keira St and Thomas St.

Date	Analysis
1977	<p>The 1977 aerial photograph shows:</p> <ul style="list-style-type: none"> <li>• No change to the Keira St building.</li> <li>• The rear attached building to the shop is different to the earlier structure noted in 1948 above. It is likely that the chapel was demolished and replaced by a functional space for the undertaking business. Shadows in the photo suggest that the replacement wing was a single storey skillion/flat roofed structure, which is confirmed by the physical evidence in the north wall of the building. The 'coffin ramp' access at the rear is evident in 1977, confirming use of this 'newer' rear building for undertaking purposes.</li> <li>• Historic photos suggest this rear addition replaced an early rear building, possibly similar to the present domestic scaled building at the rear of 137–141 Keira Street.</li> <li>• No change to the separate outbuilding/garage.</li> </ul> <p>Most of the other small buildings shown (within the current Lot 1 DP 152849) of 1948 remain in 1977. Of this other group only a small building to the rear of 121 Keira Street remains.</p>
1970s–2014	<p>The 2014 aerial shows:</p> <ul style="list-style-type: none"> <li>• No change to the Keira St building.</li> <li>• The rear addition to the shop building has changed—to its current two-level form. This structure appears to be a 1980s construction added to the top of the single level structure.</li> <li>• No change to separate outbuilding.</li> </ul> <p>Original shopfronts have been replaced with aluminium framed glazed shop windows.</p> <p>Internally, the shops retain their original form and much of their original architectural detail. Modifications include partition walls typically separating front of house and administration/storage functions within the shop.</p> <p>Internally, the residence above (facing Keira St) retains a high degree of integrity, and the office space (to the rear) is modern, except its stair access.</p> <p>No change noted to the separate outbuilding garage.</p>

## 2.5.2 Description 137–141 Keira Street—Shops, Offices and Outbuildings

### Exterior

The front elevation of 137–141 Keira Street features two levels comprising two shopfronts at street level and above, two bay windows clad with horizontal timber weatherboards and original lead light windows. The building's external walls (including a parapet wall to the street, and the rear/sides) are typical walls associated with a skillion roof. The Keira Street walls are polychrome face brick, symmetrical in design with decorative features including vertical brick fins defining bays. There are two bay windows above the awning, partially clad with weatherboards, and with projecting roofs.

The northern brick wall adjoins Nos 131–135 Keira Street, and there is a narrow passage between the adjacent building to the south. The roof is a skillion roof falling to the rear, clad with sheet metal with no evidence of chimneys (regarding internal fireplaces). The shopfronts are modern glazed windows/doors with aluminium frames. While there are various tiled surrounds to the sides of the windows, there is no evidence of the earlier shopfronts. The awning appears original in form, suspended by the original rod and fixing. The awning roof was not inspected, however it is evident that the cladding and linings have been replaced.

The outbuilding, directly behind the main 137–141 Keira Street building, appears to be a typical single garage structure in corrugated fibro sheeting with a sheet roof. The western wall has a door and two windows. It was not inspected internally.

## Interior

The building generally retains its original layout, which is shown on floor plans (Figure 2.10). The main structure includes the two shops on ground level, with a residence and commercial premises above.

The shops are long and narrow spaces, divided by various modern partitions internally. To the rear of the shops there is a small bathroom. The joinery, ceilings and other architectural features indicate that these spaces are largely in their current form. Both shops have decorative ceilings. The floors are generally timber.

The residence above, accessed by an original stair and door (north end), is largely in original condition. The entry retains its original glazed door (with handle) terrazzo threshold, early mail boxes and timber stair and handrail/newell post. The rooms are domestic in scale and character, with high quality Art Deco architectural features in the ceilings, ceiling roses, fireplace surrounds, windows, doors and associated timber joinery including architraves, picture rails and friezes. Some original windows have been replaced with modern aluminium framed sliding windows.

### Residence to the Rear (2 and 3/137 Keira Street)

The residence to the rear comprises two units, both accessed via the upper level apartment entry stair from Keira Street (north end of the building). This building, attached to the rear of 139 and 141 Keira Street, appears to have been a single residence originally, of a similar era and quality to the residences above the shops. The building has a main hipped roof form, with a skillion style roof wrapping around, and extending to the rear. The verandah areas include later additions to the rear. The building has been overclad with a metal 'weatherboard' profile. Original cladding has not been investigated, but was likely to have been timber weatherboards. Windows are typically aluminium framed sliding in style, and are likely to have replaced timber windows in the 1970s.

Internally, the building retains most of its original architectural features, despite the internal dividing wall. Features include decorative plaster ceilings and cornices, timber doors, architraves, picture rails, skirtings and other decorative features. The interiors while appearing to be unmaintained retain a high degree of original fabric.

Clues to the building originally being a single residence include the original decorative front door (not in use) at the side passage and an original ceiling divided by a corridor wall.

### Design Modifications

The modern glass and aluminium shopfronts are not original, and the entry space to each shop has a modern tiled floor. There do not appear to have been any other significant design modifications.

The residence above the shop is largely intact. The bathroom has been refurbished c1980s and the original rear verandah has been enclosed by the 1980s rear addition, impacting natural light in some rooms.

The residence behind the shop remains largely unchanged, except for overcladding of the walls, and rear verandah extension. Internally, there is a dividing wall separating this dwelling into two units and additional amenities.

Modifications are summarised in the table below.

**Table 2.6** Analysis Summary for 137–141 Keira Street (Lot 2 DP 152849).

Date	Analysis
Pre 1935	Building on site by 1920 refer Appendices—History for further detail.
1933	Formation of Thomas Street at rear.
1935	This building is presumed to have been built around the same time as 131–135 Keira St due to its location and architectural style.  The shop buildings with residence above and rear attached hipped roof structure are assumed to have been built at this time.
Late 1930s–1970s	The historic aerial photograph of 1948 shows that there are two main structures on the site: the shops, and the rear attached building. <ul style="list-style-type: none"> <li>• The rear attached building has a hipped roof (with a rear addition), and is likely to have been built at the same time as the Keira Street shop building. It appears residential in style and scale.</li> <li>• There is no separate outbuilding at this time.</li> </ul>
1970s–1980s	By 1977 there was another small outbuilding to the rear, likely to be the current rear outbuilding.

## 2.6 Context, Curtilage and Views

The subject buildings are within the block bounded by Keira, Thomas, Smith and Market Streets located within the Wollongong CBD. This block and adjoining areas are in a state of change.

The context is summarised as follows:

- The majority of buildings in the block are early twentieth century commercial buildings of two levels, and represent one of the early phases of the development of the central Wollongong city area. Not all of these buildings are heritage items, and some that remain are subject of proposals which involve their demolition. Number 4 Thomas Street was a residence of the Parsons family.
- Residential buildings characterise the northeast corner of the block, forming a group of heritage items around Smith Street.
- Recent change in the vicinity includes residential and commercial buildings developed in response to current development controls, allowing taller buildings of larger footprint.

Heritage curtilage is defined as ‘the area of land surrounding an item or area of heritage significance which is essential for retaining and interpreting its heritage significance’.<sup>6</sup> The existing heritage curtilage is effectively defined by the property boundary of the heritage item within the WLEP 2009.

An expanded curtilage could be defined by the land acquired over time by the Parsons family, and extends from Keira Street through to Thomas Street, approximately in the centre of the block. This includes Lot 1 DP 152849 (131–135 buildings and the largely undeveloped land at the centre of the block), Lot 2 DP 152849 (137–141), Lot 3 DP 12385 (4 Thomas Street), and Lot 1 DP 510890 (vacant land on Keira Street). It is not feasible, or necessary, for the expanded heritage curtilage, effectively the amalgamated site, to be retained or conserved in full in this context. <sup>7</sup>

A reduced curtilage is defined in the Wollongong DCP as ‘less than the lot boundary of the property ... where the significance of the item and its interpretation is not dependent on having a large curtilage extending to a lot boundary.’<sup>8</sup> A reduced curtilage is considered appropriate for this heritage item.

Views to the heritage item are predominantly along Keira Street and approaching the street from the side laneway across Keira Street.



Figure 2.25 Streetscape view looking southeast to 131–147 Keira Street. (Source: GML, 2006)



Figure 2.26 Streetscape view looking northeast to 131–147 Keira Street. (Source: GML, 2006)

## 2.7 Heritage Significance Assessment

The heritage item is a group which comprises 131–135, 137–141 and 143–147 Keira Street, however, only the first two in this group are subject of this report. It is likely that a detailed assessment of 143–147 Keira Street would result in the following statement of significance applying to this building also.

### Criterion A

*An item is important in the course, or pattern, of NSW's cultural or natural history (or the cultural or natural history of the local area)*

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none"> <li>✓ Shows evidence of a significant human activity</li> <li>✓ Is associated with a significant activity or historical phase</li> <li>✓ Maintains or shows the continuity of a historical process or activity</li> </ul>	<ul style="list-style-type: none"> <li>• Has incidental or unsubstantiated connections with historically important activities or processes</li> <li>• Provides evidence of activities or processes that are of dubious historical importance</li> <li>• Has been so altered that it can no longer provide evidence of a particular association</li> </ul>



The subject buildings and site are of local significance in the history and development of Wollongong. The site played an important role in Wollongong's socioeconomic history through its continuous commercial/residential uses and is linked to the provision of funerary services over a 130 year period.

The location of 131–135 and 137–141 Keira Street, within the early town plan of 1834, reflects the nineteenth-century pattern of local settlement and the establishment of Wollongong as a regional centre.

Dating from 1934 and 1939, the interwar group of buildings represent a key phase in the development of Wollongong's CBD. Designed in the Art Deco style, the shops and associated residential accommodation at 131–135 and 137–141 Keira Street reflect the expansion of commercial activities and services during a period when the town experienced both population growth and an increased demand for housing in the central municipality.<sup>9</sup>

The Parsons undertaking business in Keira Street is also significant local business that since the 1890s has provided services to many generations of the Wollongong community. The business continues to operate from three other premises in the Illawarra region.

The provision of undertaking services by W Hutson operating from 152 Keira Street (nearby) from the 1880s, and from 1893 by Henry Parsons on the same site, commenced approximately 100 years of undertaking services on Keira Street.

The Parsons family operated from 131–135 and 137–141 Keira Street from 1935 until the 1970s, and these buildings represent the growing needs of a developing regional community. This purpose-built undertaking commercial shopfront business had associated residential accommodation, as was common at the time.

Although these buildings represent approximately 40 years of a family business, they further represent the ongoing provision of undertaking services by the Parsons and Hutson families of over 130 years in the Illawarra region.

The buildings are intact, except for the shopfronts which were replaced c1980s, and demonstrate interwar residential/commercial shopfront development and the ongoing provision of undertaking business by primarily one family, even though no longer on the site, in the developing Wollongong CBD.

## Criterion B

*An item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural or natural history of the local area)*

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none"> <li>✓ <b>Shows evidence of a significant human occupation</b></li> <li>✓ <b>Is associated with a significant event, person, or group of persons</b></li> </ul>	<ul style="list-style-type: none"> <li>• Has incidental or unsubstantiated connections with historically important people or events</li> <li>• Provides evidence of people or events that are of dubious historical importance</li> <li>• Has been so altered that it can no longer provide evidence of a particular association</li> </ul>

The subject buildings and site are evidence at a local level in NSW of four generations of the Parsons family and their contribution as a family to Wollongong in the provision of undertaking services.



The Parsons family contributed to the history and development of Wollongong at a local level and represent over 120 years of the provision of undertaking services in Keira Street, and beyond.

Nos 131–135 and 137–141 Keira Street are associated with the early twentieth century development of Keira Street by entrepreneurs, in particular the Parsons family. The Parsons family business operated from Keira Street for a total of approximately 90 years, and for approximately 40 years from 1935 until the 1970s when they developed the subject property.

Since 1935, the Parsons family operated their undertaking business from Suite 3 of 135–137 Keira Street which includes the rear ground level space, with residential accommodation for the family in the apartment above.

The Parsons family was, and continues to be, prominent locally for the provision of undertaking services in the Wollongong and Illawarra region. A number of family members have been associated with the family business at one time since the 1890s:

- 1893: Henry Parsons bought the undertaking business from Hutson.
- 1909: Henry Mathew Parsons (carpenter) and Arthur Williams Parsons (hairdresser) associated with the site, 137–141 Keira Street.
- 1935–1992: Alf Parsons, son of Henry Parsons and undertaker, developed the current shop buildings (deceased 1992).
- c1992–2011: John Parsons, son of Alf Parsons, Managing Director.
- c2011–present: Alan Parsons, son of John, Funeral Director/Managing Director (fourth generation).

The Parsons family operated funeral services nearby in Keira Street, prior to the current buildings on Keira Street.

### Criterion C

*An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area)*

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none"> <li>• Shows or is associated with, creative or technical innovation or achievement the inspiration for a creative or technical innovation or achievement</li> <li>✓ <b>Has landmark qualities</b></li> <li>✓ <b>Is aesthetically distinctive</b></li> <li>✓ <b>Exemplifies a particular taste, style or technology</b></li> </ul>	<ul style="list-style-type: none"> <li>• Is not a major work by an important designer or artist</li> <li>• Has lost its design or technical integrity</li> <li>• Its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded</li> <li>• Has only a loose association with a creative or technical achievement</li> </ul>

The subject buildings and site are locally distinctive and typify interwar development and the Art Deco style in Wollongong.

This commercial/residential shop development and retains much original character through original detail and fabric, externally and internally. The buildings and site at 131–135 and 137–141 Keira Street make a positive contribution to the character and architecture of the streetscape, within a precinct that

has a strong Inter-War aesthetic and character. They are an important group in this street, along with Nos 143–147.

As part of a row of shops, this grouping (the heritage item Nos 131–141), demonstrates the concept of shops on the ground level and residential accommodation above. The shop at Suite 3/131–135 Keira Street also retains evidence of the original purpose of the property (in part) as a funeral parlour.

While the residence above Nos 131–135 is presently used for commercial purposes, it retains its residential layout and design, and is of a high quality. The residence at 1/137 also retains its original layout and design and is of a high quality. The original layout of the residence at 2 and 3/137 has been modified, but later alterations are reversible.

The buildings are representative of small scale interwar commercial buildings, a visible reminder of the 1930s aesthetics and tastes, particularly evidenced in the fine elaborately patterned brickwork façades.

They are an aesthetically distinguished example of a set of interwar shops with Art Deco detailing, virtually intact above awning level, and a very good example of the bricklayer's craft, additionally as a cohesive group of buildings related in terms of use, scale and materials. The façades are of polychrome brickwork with a decorative brick parapet and vertical elements representative of their era.

### Criterion D

*An item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons*

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none"> <li>✓ Is important for its associations with an identifiable group</li> <li>✓ Is important to a community's sense of place</li> </ul>	<ul style="list-style-type: none"> <li>• Is only important to the community for amenity reasons</li> <li>• Is retained only in preference to a proposed alternative</li> </ul>

The subject site at 131–135 and 137–141 Keira Street, in particular No. 135, is likely to be important under this criteria to many generations of the Wollongong community.

Community consultation has not been undertaken for this CMS. It is, however, possible to anticipate that 135 Keira Street would have social significance for its role in the funeral industry. Many people in the community of Wollongong would have visited the property in difficult times.

### Criterion E

*An item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area)*

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none"> <li>• Has potential to yield new or further substantial scientific and/or archaeological information</li> <li>• Is an important benchmark or reference site or type</li> <li>• Provides evidence of past human cultures that is unavailable elsewhere</li> </ul>	<ul style="list-style-type: none"> <li>• The knowledge gained would be irrelevant to research on science, human history or culture</li> <li>• Has little archaeological or research potential</li> <li>• Only contains information that is readily available from other resources or archaeological sites</li> </ul>

The buildings and site at Nos 131–135 and 137–141 Keira Street may yield further information, but this is difficult to ascertain, given the lack of primary resources identified for the site.

While further research may reveal more scientific or archaeological information, it is not likely to meet this criterion.

### Criterion F

*An item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area)*

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none"> <li>Provides evidence of a defunct custom, way of life or process</li> <li>Demonstrates a process, custom or other human activity that is in danger of being lost</li> <li>Shows unusually accurate evidence of a significant human activity</li> <li>Is the only example of its type</li> <li>Demonstrates designs or techniques of exceptional interest</li> <li>Shows rare evidence of a significant human activity important to a community</li> </ul>	<ul style="list-style-type: none"> <li>Is not rare</li> <li>Is numerous but under threat</li> </ul>

Nos 131–135 and 137–141 Keira Street is not particularly rare in NSW, although it is of an era particularly vulnerable to development pressures in Wollongong.

The distinctive features of these buildings, ie Art Deco brickwork and internal architectural detailing and original kitchens, do demonstrate a way of life, however they are not considered rare or exceptional. Over time, they may become rare through attrition of other similar typical examples of this time.

The Parsons' family business continues today, although not at the same location, and as such, the subject site is not considered to demonstrate a process that is in danger of being lost.

The property is unlikely to meet the threshold of this criterion at this stage.

### Criterion F

*An item is important in demonstrating the principal characteristics of a class of NSW's cultural or natural places; or cultural or natural environments (or a class of the local area's cultural or natural places; or cultural or natural environments)*

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none"> <li>✓ <b>Is a fine example of its type</b></li> <li>✓ <b>Has the principal characteristics of an important class or group of items</b></li> <li>✓ <b>Has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique or activity</b></li> <li>Is a significant variation to a class of items</li> <li>✓ <b>Is part of a group which collectively illustrates a representative type</b></li> <li>Is outstanding because of its setting, condition or size</li> <li>Is outstanding because of its integrity or the esteem in which it is held</li> </ul>	<ul style="list-style-type: none"> <li>Is a poor example of its type</li> <li>Does not include or has lost the range of characteristics of a type</li> <li>Does not represent well the characteristics that make up a significant variation of a type</li> </ul>

Nos 131–135 and 137–141 Keira Street, along with 143–147, is a group of buildings which contribute collectively at a local level to the representative value of Art Deco commercial/residential buildings of Keira Street. Keira Street in particular demonstrates an Art Deco character that has evolved into the current Wollongong CBD.

The site is a representative example of the Inter-War Art Deco architectural style and period, sharing features with other commercial/residential properties built during this period throughout Wollongong. Its architectural/aesthetic significance is notably enhanced by the extent to which the site retains the principal characteristics and much of its original/early fabric and detailing, externally and internally.

The buildings' form and fabric, together with their historical associations, contribute to of the rich cultural landscape of inner Wollongong.

## 2.8 Statement of Heritage Significance

The shop/residence group at 131–147 Keira Street are of local significance in the city of Wollongong for historical, aesthetic and reasons of representativeness. The group comprises 131–135, 137–141 and 143–147 Keira Street, however, only the first two in this group are subject of this report.

As a group, the group makes a major contribution to the predominantly two storey inter-war streetscape of Keira Street. The group, constructed in 1935, are representative of small scale interwar commercial buildings (with housing above and behind). They evidence 1930s Art Deco style, particularly in the elaborately patterned brickwork façade and the decorative interiors.<sup>10</sup>

As a cohesive group of interwar shops which is virtually intact above awning level, the item is aesthetically distinguished in terms of use, scale and materials. Internally, the three residences associated with 135–137 and 137–141 Keira Street demonstrate a display high quality of materials and craftsmanship including; ceilings, joinery, leadlight windows and other features such as brick fireplaces, as well as high standard of apartment life.

Part of the site, 135–137 Keira Street, and its association with the Parsons family and the undertaking business is of local significance, representing over 130 years of service by the Parsons family, almost 90 of which were based in Keira Street, and for almost 40 years at the 135–137 Keira Street premises. The Parsons family lived and worked at 131–135, 137–141 (143–147 has not been confirmed) and the house at 4 Thomas Street, owning a significant proportion of land in this block, evidencing the family's prominence in the city of Wollongong.

## 2.9 Significance of Components

Different elements of a place make different contributions to its heritage value. Identifying the relative contribution of a space or its component elements to overall significance provides a useful framework for decision making about conservation and changes to the place.

At the same time, the progressive erosion/loss of elements and fabric or changes to spaces that reduce the overall integrity/intactness of the property can also reduce heritage values, particularly for properties such as 131–135 and 137–141 Keira Street which retains a significantly high level of original/early fabric/evidence.

## 2.9.1 Gradings of Significance

Decisions about the treatment of specific spaces, elements and fabric need to take into account both the relative significance of the space/area within the overall site and the relevant conservation policies (identified in the CMP) for works to specific elements and fabric within that space. Table 2.7 sets out the standard terms used to describe the relative gradings of significance for different spaces and elements as defined in the NSW Heritage Office publication *Assessing Heritage Significance* (2001).

**Table 2.7** Standard Gradings of Significance.

Grading	Justification	Status
<b>Exceptional (E)</b>	Rare or outstanding element directly contributing to an item's local and state significance.	Fulfil criteria for local or state listing
<b>High (H)</b>	Demonstrates a key element of the item's significance. Alterations do not detract from significance.	Fulfil criteria for local or state listing
<b>Moderate (M)</b>	High degree of original fabric. Altered or modified elements. Elements with little heritage value, but which contribute to the overall significance of the item.	Fulfil criteria for local or state listing
<b>Little (L)</b>	Alterations detract from significance. Difficult to interpret.	Does not fulfil criteria for local or state listing
<b>Intrusive (I)</b>	Damaging to the item's heritage significance.	Does not fulfil criteria for local or state listing

## 2.9.2 Application of Gradings of Significance to Keira Street

Table 2.8 sets out a modified set of definitions of the standard terms, in accordance with the recommendations of the Heritage Office's 2001 publication, to suit the particular layout, elements and fabric of 131–135 and 137–141 Keira Street in this CMS. The grading (E) exceptional has been removed to simplify assessment of the shop/residences.

**Table 2.8** Gradings of Significance for 131–135 and 137–141 Keira Street, Wollongong.

Grading	Application to 131–135 and 137–141 Keira Street, Wollongong, CMS
<b>High (H)</b>	Major forms, spaces, elements and fabric of high significance have a high degree of original fabric and demonstrate key aspects of the place's overall heritage significance. These may include some alterations which are of a minor nature and/or do not detract from significance.
<b>Moderate (M)</b>	Elements of moderate significance may include additions/alterations to the original property and contribute to the place's heritage significance. This includes later modifications of a more substantial nature than H (above) related to ongoing function or those that replicated original fabric that provide evidence of significant phases.
<b>Little (L)</b>	Elements of little significance do not add to the significance of the place in a positive way, neither do they detract from its overall significance. This may include added or altered spaces with less individual heritage value or elements which reflect non-significant phases of development.
<b>Intrusive (I)</b>	Added or altered spaces, elements and fabric which damage the item's significance.

Figures 2.27–2.30 provide a graphic summary of the gradings of significance for the exterior façade (front only—west) and internal spaces of 131–135 and 137–141 Keira Street, Wollongong. These plans should be read in conjunction with Figures 2.9–2.11 'Periods of Construction' above.





Figure 2.27 Site plan—significance gradings. (Source: ADM Documentation October 2016, with GML overlay)

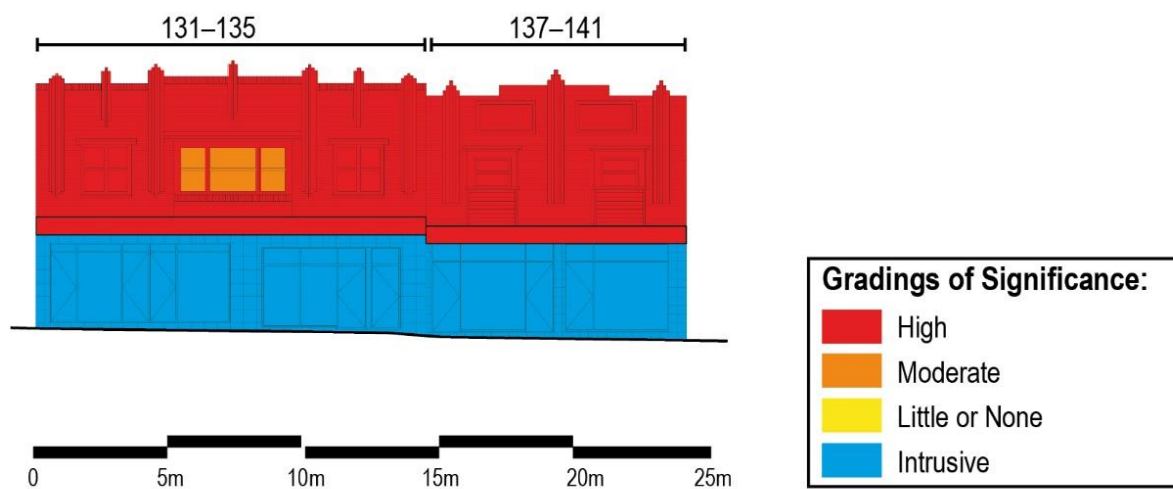
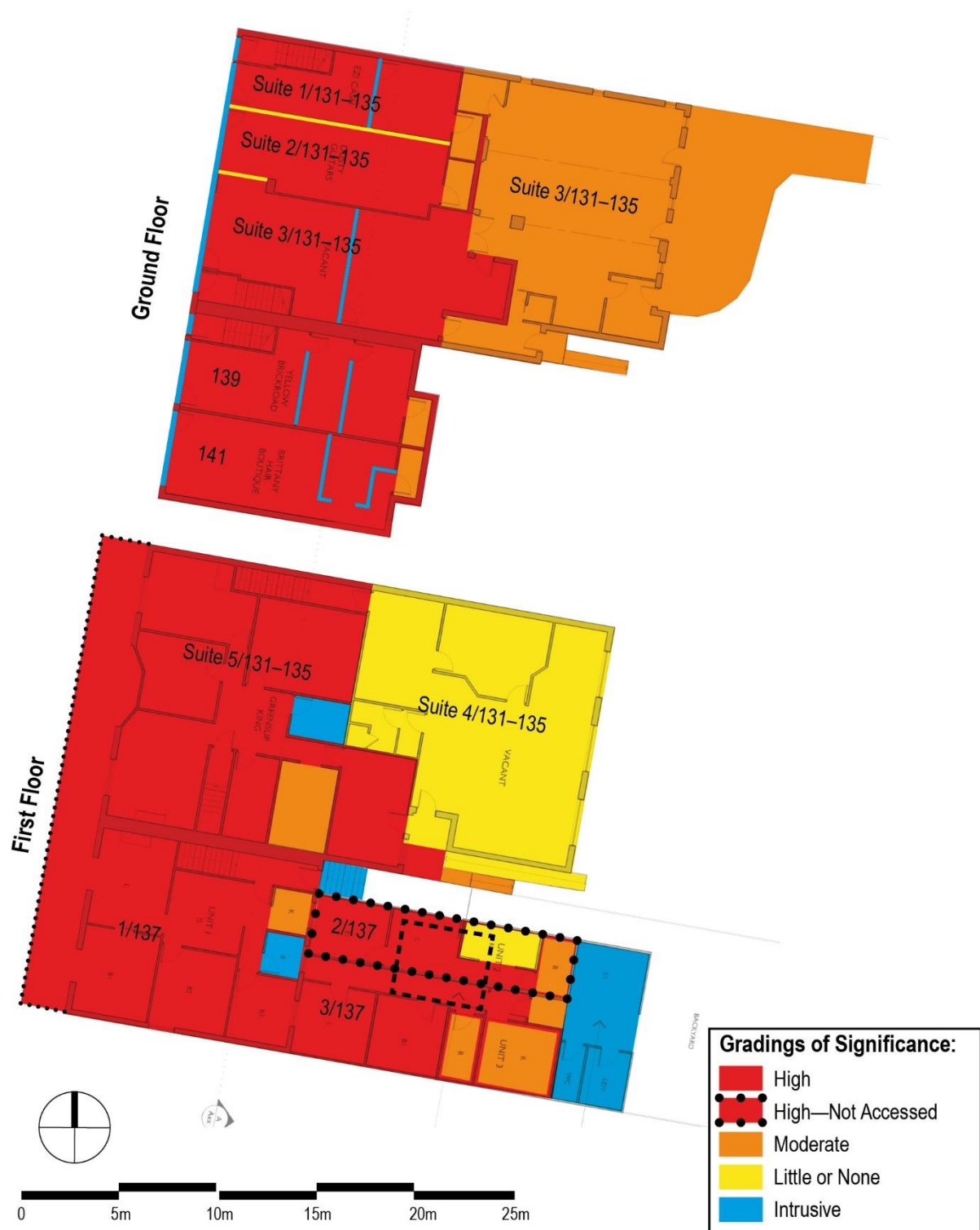


Figure 2.28 Front elevation—significance gradings. (Source: ADM Documentation October 2016, with GML overlay)



**Figure 2.29** Ground floor plan and upper floor plan—significance gradings. (Source: ADM Documentation October 2016, with GML overlay)

### 2.9.3 Gradings of Significance of Elements

Table 2.10 sets out more detail on key elements and fabric of the exterior façades and internal spaces of the property and the significance ranking of these components. This assessment reflects the extent to which particular elements of the place retain or provide meaningful evidence of the original/early architectural character, fabric and/or finishes of the place. In some instances important later changes, which add to the historical layering of the place, are also considered significant. In using this table, the following considerations should be taken into account:

- Individual elements may vary in significance according to physical condition, degree of integrity and role/location within the space as a whole. Low significance and/or intrusive elements/fabric may often be found within an area/space of exceptional or high significance. Fabric of high significance may also be found in areas/spaces of little or no heritage value as, for example, elements such as doors, chimney pieces, etc that have been relocated from elsewhere.
- Certain elements, particularly remains of original/early features and fabric, may have significance as a part of a related group of elements located on several (or all) floors of the residence (eg the main staircase and landings, original doors and windows, lath and plaster ceilings and cornices, etc). In a number of situations these elements may not be intact in a particular location (eg missing fireplace surrounds, door and window joinery and fittings, etc), but the surviving evidence of the original enhances the significance of the building as a whole.

Abbreviations used in Table 2.9 describe the time period of the element/fabric being described.

**Table 2.9** Abbreviations Used in Survey of Physical Fabric.

Abbreviation	Time Period
O	Original
ET	Early twentieth century (1930s)
MD	Mid twentieth century (1950s)
LT	Late twentieth century (1970s onwards)
?	Date unclear

**Table 2.10** Gradings of Significance of Elements for 131–135 and 137–141 Keira Street.

Element	Fabric	Date	Grading
<b>131–135 Keira Street Shops with Residence/Commercial above (including rear wing)</b>			
<b>Exterior</b>			
External walls	Decorative brickwork (blonde—polychrome).	ET	H—form, location and original fabric
Parapets	Soldier course parapet with vertical Art Deco feature.	ET	H—form, location and original fabric
Chimneys	None identified (note fireplaces on interior).		
Roofs	Not inspected—corrugated metal skillion roof.	ET—form and structure	H—form, location and original fabric
Shopfronts	Modern aluminium framed/glazed shopfronts, with tiled surround.	ET—form and structure	L

Element	Fabric	Date	Grading
Bay window/ verandah	Projecting brick bay verandah, infilled with windows.	ET—form and structure MD—infill windows	H—form and structure L—infill windows
Roofs to bay window/ verandah	Not inspected—sheet metal roof.	ET—form and structure	H—form and structure
Shop awning	Not inspected—metal awning, suspension rods original. Modern lining—corrugated metal sheet.	ET—form and structure LT—updates	H—form, location and original fabric
Rear addition (commercial above, open space below)	Two-storey brick addition to rear of original 1930s building.	LT—form and fitout	L—form and fabric
External doors—shopfronts	Modern aluminium framed/glazed shopfronts, with tiled surround.	ET—form and structure	I
External doors—to verandah	Timber framed glazed doors.	ET—form and structure	H—form and structure
External doors—rear addition	Various, including aluminium framed windows.	LT	L
Windows	Timber framed windows—DH typically.	ET—form and structure	H

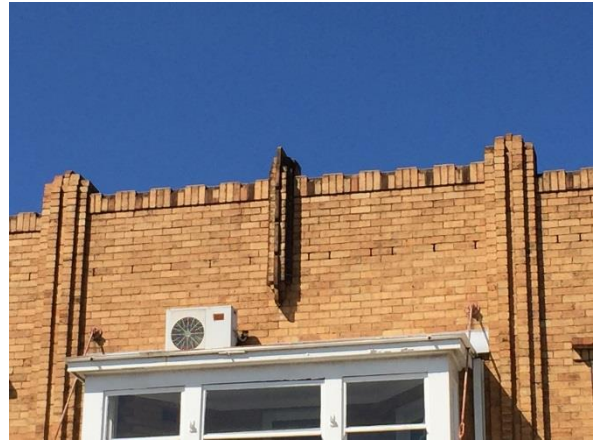
Element	Fabric	Date	Grading
<b>Interior Spaces</b>			
<b>Ground—Suite Nos 1, 2 and 3/131–135 Keira Street</b>			
Floor	Original timber floors, with modern tile entrance zone.	ET—timber LT—tiled zone	H I
Skirting	Moulded timber skirting—modern profile.	ET—form and structure	E
Walls	Masonry rendered with some decorative features and dado detail (in particular No. 135). (Feature render finish in No. 135.)	ET—form and structure	E
Walls—partition	Timber framed walls lined with plasterboard (or similar).	LT—form and structure	L/I
Ceiling and cornice	Plaster ceiling, Art Deco cornice and ceiling rose.	ET—form and structure	H
Internal doors and architraves	Original timber framed glazed doors.	ET	H
Bathroom	Some early fittings.	ET/LT	M/L
Staircase	2 x timber staircases with plain timber newel post, square section handrails attached to side walls, some other timber features including letterbox.	ET—original fabric	H—form, location and surviving original fabric

Element	Fabric	Date	Grading
<b>First Floor—Commercial/Residence (Suite 5, 131–135 Keira Street)</b>			
Floor	Original timber floors (assumed). Carpet over.	LT	H I
Skirting	Timber profiled skirting—1930s profile.	ET—form and structure	H
Walls	Masonry rendered.	ET—form and structure	H
Walls—joinery	Timber fretwork over doorways, picture rails, fireplace surround.	ET—form and structure	H
Ceiling and cornice	Plaster ceiling, Art Deco cornice and ceiling rose.	ET—form and structure	H
Internal doors and architraves	Original timber framed glazed doors. Original timber framed doors.	ET ET	H H
Staircase	Southernmost stair from street provides access. Refer to above.		
Fireplace grate	Original feature.	ET	H
Kitchen and bathroom	Some original or early features (kitchen cupboards). Modern finishes typically (bathroom).	ET/MD LT	M I
<b>First Floor—Commercial (Suite 4, 131–135 Keira Street)</b>			
Floor	Concrete, carpet over.	ET—timber LT—carpet	H I
Skirting	Modern profile.	LT	I
Walls	Masonry rendered, some plasterboard partition walling.	LT	I
Ceiling and cornice	Plasterboard.	LT	I
Internal doors and architraves	Timber doors and frames.	LT	I
Kitchen and bathroom	Some original or early features (kitchen cupboards). Modern finishes typically.	ET/MD LT	M L
Staircase	Northernmost stair from street provides access. Refer to above.		
<b>Rear Yard</b>			
Coffin ramp	Brick retaining wall, with concrete 'driveway' ramp.	LT	L—form and fabric





**Figure 2.30** 131–135 Keira Street, main elevation. (Source: GML Heritage, 2016)



**Figure 2.31** 131–135 Keira Street, brick parapet detail. (Source: GML Heritage, 2016)



**Figure 2.32** Suite 5/131–135 Keira Street, decorative plaster ceiling detail. (Source: GML Heritage, 2016)



**Figure 2.33** Suite 5/131–135 Keira Street, lead light windows. (Source: GML Heritage, 2016)



**Figure 2.34** Suite 5/131–135 Keira Street, decorative timber frieze over entry from stair. (Source: GML Heritage, 2016)



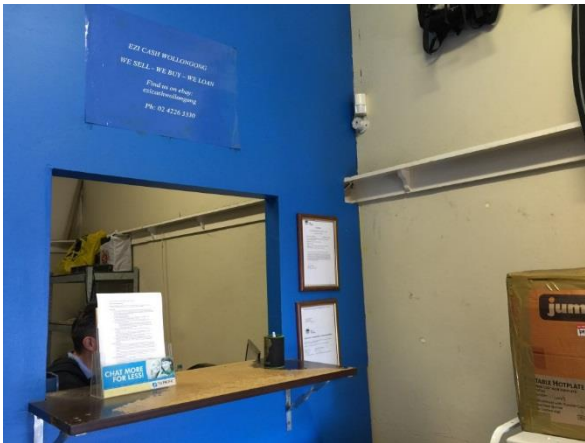
**Figure 2.35** Suite 5/131–135 Keira Street, brick fireplace surround. (Source: GML Heritage, 2016)



**Figure 2.36** Suite 5/131–135 Keira Street, stair entry from street level. (Source: GML Heritage, 2016)



**Figure 2.37** Suite 1, 2/ 131–135 Keira Street, detail of joinery, doors, plaster trim and basin. (Source: GML Heritage, 2016)



**Figure 2.38** Suite 1/131–135 Keira Street, detail of timber picture rail. (Source: GML Heritage, 2016)



**Figure 2.39** Suite 3/131–135 Keira Street, detail of decorative plaster Art Deco detail. (Source: GML Heritage, 2016)

Element	Fabric	Date	Grading
<b>137–141 Keira Street Shops (with Residence above)</b>			
<b>Exterior</b>			
External walls	Decorative brickwork (brown—polychrome).	ET	H—form, location and original fabric
Parapets	Brick border to parapet with vertical Art Deco feature.	ET	H—form, location and original fabric
Chimneys	None identified (note fireplaces on interior).		
Roofs	Not inspected—corrugated metal skillion roof.	ET—form and structure	H—form, location and original fabric
Shopfronts	Modern aluminium framed/glazed shopfronts, with tiled surround.	ET—form and structure	L
Bay window/ verandah	2 x projecting brick bay windows.	ET —form and structure	H—form and structure
Roofs to bay window/ verandah	Not inspected—sheet metal roof.	ET—form and structure	H—form and structure
Shop awning	Not inspected—metal awning, suspension rods original. Modern lining—corrugated metal sheet.	ET—form and structure LT—updates	H—form, location and original fabric
External doors —shopfronts	Modern aluminium framed/glazed shopfronts, with tiled surround.	ET—form and structure	L
External doors —shopfronts	Modern aluminium framed/glazed shopfronts, with tiled surround.	ET—form and structure	L
<b>Ground Floor, 137–141 Keira Street Shops (with Residence above)</b>			
<b>Interior Spaces</b>			
Floor	Original timber floors, with modern tile entrance zone.	ET—timber LT—tiled zone	H I
Skirting	Moulded timber skirting—modern profile.	ET—form and structure	H
Walls	Masonry rendered.	ET—form and structure	H
Walls—partition	Timber framed walls lined with plasterboard (or similar).	LT—form and structure	L/I
Ceiling and cornice	Plaster ceiling, Art Deco cornice detailing.	ET—form and structure	H
Internal doors and architraves	Original timber framed doors.	ET	H
Staircase	1 x timber staircase with plain timber newel post, square section handrails attached to side walls, some other timber features including letterbox.	LN—original fabric	H—form, location and surviving original fabric

Element	Fabric	Date	Grading
<b>First Floor, 137–141 Residence (Unit 1, No. 137)</b>			
Floor	Original timber floors (not inspected).	ET—timber LT—tiled zone	H I
Skirting	Moulded timber skirting—modern profile (not inspected).	ET—form and structure	H
Walls	Masonry rendered (not inspected).	ET—form and structure	H
Ceiling and cornice	Plaster ceiling, Art Deco cornice detailing (not inspected).	ET—form and structure	H
Internal doors and architraves	Original timber framed doors (not inspected).	ET	H
Staircase	Access from Keira Street, refer to above.		
Kitchen and bathroom	Some original or early features (kitchen cupboards). Modern finishes typically.	ET/MD LT	M L
<b>137–141 Keira Street Residence (Units 2 and 3, No. 137)—Rear Attached</b>			
<b>Exterior</b>			
Roofs	Not inspected—corrugated metal hipped roof. Skillion roof 'verandah'.	ET—form and structure LT—verandah addition	H—form, location and original fabric I—form and fabric
Walls	Weatherboard (single storey attached cottage). Some modifications.	ET—form and structure	M
Windows	Aluminium framed windows—sliding typically.	LT—repairs and replacement of fabric	L
Door	Timber door with lead light—external door to side passage.	ET	H
<b>Interior Spaces (Unit 3 only, Unit 2 not inspected)</b>			
Floor	Concrete (timber?). Lino and carpet.	ET LT	? I
Skirting	Timber profiled skirting—1930s profile.	ET—form and structure	H
Walls	Sheet lining. Later walls—sheetlining.	ET LT	H I
Ceiling and cornice	Plaster ceiling, Art Deco cornice detailing.	ET—form and structure	H
Internal doors and architraves	Original timber framed doors, painted.	ET	H
Kitchen and bathroom	Some original or early features (kitchen cupboards). Older modern finishes typically.	ET/MD MD	M L

Element	Fabric	Date	Grading
<b>137–141 Keira Street Residence (Garages No. 137)—rear</b>			
<b>Exterior</b>			
Walls	Fibro and metal corrugated sheet.	MD	L
Windows	Timber framed windows.	MD	L
Doors	Metal roller door.	LT	L
Roofs	Corrugated metal.	MD	L
Gutters and downpipes	Aluminium, pvc.	LT	L
<b>Interior Spaces</b>			
	Not inspected.		

It should be noted that the gradings of significance in this CMS have been undertaken without any opening-up of fabric.

Select photographs of key examples of features/fabric of high significance are included below. A more comprehensive set of photographs are included at Appendix C of this CMS.





**Figure 2.40** 137–141 Keira Street, main elevation. (Source: GML Heritage, 2016)



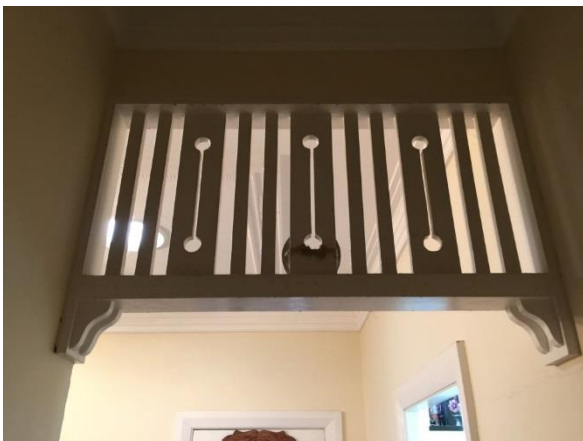
**Figure 2.41** 137–141 Keira Street, brick parapet detail. (Source: GML Heritage, 2016)



**Figure 2.42** 1/137–141 Keira Street, decorative plaster ceiling detail. (Source: GML Heritage, 2016)



**Figure 2.43** 1/137–141 Keira Street, lead light windows. (Source: GML Heritage, 2016)



**Figure 2.44** 1/137–141 Keira Street, decorative timber frieze (painted) over entry from stair. (Source: GML Heritage, 2016)

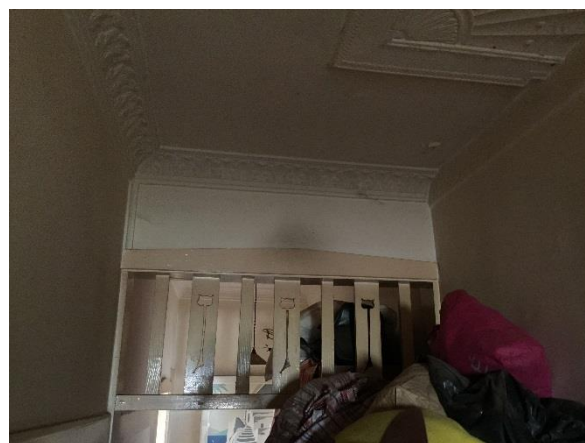


**Figure 2.45** 1/137–141 Keira Street brick fireplace surround. (Source: GML Heritage, 2016)





**Figure 2.46** 2 and 3/137–141 Keira Street, original hipped roof form, with later skillion addition. (Source: GML Heritage, 2016)



**Figure 2.47** 2 and 3/137–141 Keira Street, decorative timber frieze (painted) over entry from stair. (Source: GML Heritage, 2016)



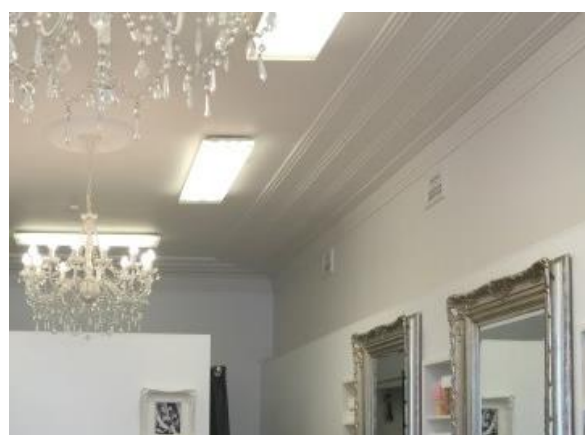
**Figure 2.48** 2 and 3/137–141 Keira Street, decorative plaster ceiling detail. (Source: GML Heritage, 2016)



**Figure 2.49** 2 and 3/137–141 Keira Street, original timber door and hardware. (Source: GML Heritage, 2016)



**Figure 2.50** 141 Keira Street (shop), decorative plaster ceiling and cornice detail. (Source: GML Heritage, 2016)



**Figure 2.51** 139 Keira Street (shop), decorative plaster ceiling and cornice detail. (Source: GML Heritage, 2016)

## 2.10 Endnotes

- <sup>1</sup> Terry Kass, *A Thematic History of Wollongong*, report prepared for Wollongong City Council, 2010.
- <sup>2</sup> GML Heritage, Keira and Thomas Streets, Wollongong Historical Archaeological Assessment, report prepared for Knight Frank Town Planners, 2016.
- <sup>3</sup> Irving, R 2001, *Twentieth Century Architecture in Wollongong*, Robert, Wollongong City Council, Paddington, NSW.
- <sup>4</sup> Apperly, R, Irving, R, and Reynolds, P 1995, *A Pictorial Guide to Identifying Australian Architecture*, Angus & Robertson, Sydney, p 193.
- <sup>5</sup> Apperly, R, Irving, R, and Reynolds, P 1995, *A Pictorial Guide to Identifying Australian Architecture*, Angus & Robertson, Sydney, p 191.
- <sup>6</sup> NSW Heritage Office, *Heritage Curtilages*, 1996; State Heritage Inventory, 131–147 Keira Street, 10 February 2015, viewed 14 September 2016 <<http://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?ID=2700667>>.
- <sup>7</sup> Wollongong DCP 2009, p66 (defines curtilage for consideration)  
<<http://www.wollongong.nsw.gov.au/council/governance/Policies/Wollongong%20DCP%202009%20Chapter%20D13%20-%20Wollongong%20City%20Centre%20Precinct.pdf>>
- <sup>8</sup> Wollongong DCP 2009, p66 (defines curtilage for consideration)  
<<http://www.wollongong.nsw.gov.au/council/governance/Policies/Wollongong%20DCP%202009%20Chapter%20D13%20-%20Wollongong%20City%20Centre%20Precinct.pdf>>
- <sup>9</sup> Terry Kass, *A Thematic History of Wollongong*, report prepared for Wollongong City Council, 2010.
- <sup>10</sup> State Heritage Inventory, 131–147 Keira Street, 10 February 2015, viewed 14 September 2016  
<<http://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?ID=2700667>>.

## 3.0 Strategy Part 2—Conservation Policy and Management

### 3.1 Interim Conservation Recommendations

Interim conservation recommendations for the properties 131–135 and 137–141 Keira Street (part of heritage item 131–147 Keira Street) were provided as early advice to the design team to guide the design of the proposed new development while the Conservation Management Strategy was in progress. This interim advice is included in the Appendices, and has been developed further and incorporated into the following section of this report.

### 3.2 General Conservation Policies

The conservation policies are aimed at guiding the future management and conservation of the heritage item in context of the proposed new residential development.

The policies have been drafted to ensure that the significance of the place is retained while recognising the operational constraints and requirements.

The Conservation Policies in this section are set out in italics and in some cases are accompanied by further guidelines or explanation for implementation. The policies and guidelines are structured under a series of major headings and should be read in conjunction with each other.

A summary of the policies is listed below.

**Table 3.1** Summary of Conservation Policies.

Policy Section	Policies
1—Conservation Approach	1.1 The Burra Charter 1.2 Use Appropriate Expertise 1.3 Induction 1.4 Review Scope against this CMP
2—Owner Requirements	2.1 Owner Requirements
3—Use	3.1 Use—Commercial 3.2 Use—Residential
4—Managing Change—Significant Fabric	4.1 Manage According to Significance 4.2 Minimising Heritage Impact 4.3 New Work Generally 4.4 Demolition of Garage Structures 4.5 Reconstruction of Shopfronts 4.6 Refurbish Shops 4.7 Demolition of Coffin Ramp and Retaining Wall 4.8 Conserve Residences 4.9 Return Rear Residence to Single Dwelling 4.10 Upgrade Bathrooms 4.11 Upgrade Kitchens 4.12 Redesign Rear Verandah 4.13 Demolish Rear Verandah and Redesign Roof 4.14 Vertical Additions to the Heritage Item 4.15 Conservation Schedules

Policy Section	Policies
5—Managing Change—New Development	5.1 Coordinated Approach to Development 5.2 Heritage Curtilage to be Retained with Proposed Development 5.3 Proposed New Major Development in Heritage Context 5.4 Interface with Proposed Development and Public Domain 5.5 Amenity and Facilities for Heritage Items 5.6 Strata Plan to include Heritage Items 5.7 Historic Urban Landscape Approach (HUL) 5.7.1 Site Planning 5.7.2 Architectural Design and Diversity 5.7.3 Amenity 5.8 Signage
6—Statutory Requirements	6.1 Development Consent Process 6.2 Heritage Impact Statement 6.3 Conservation Management Plan
7—Archaeology Management	7.1 Manage Archaeological Resource 7.2 Archaeological Assessment 7.3 Archaeological Potential
8—Gaps in Knowledge	8.1 Resolve Gaps in Knowledge
9—Copies of the Documents	9.1 Copies of the Documents
10—Public Safety and Building Codes	10.1 Public Safety and Security Upgrades 10.2 Fire Safety 10.3 Structural Adaptation 10.4 Hazardous Materials
11—Accessibility	11.1 Accessibility Generally
12—Interpretation and Recording	12.1 Interpret the History of the Site 12.2 Archival Recording
13—Adoption and Review	13.1 Adoption of the CMS 13.2 Review of the CMS

## Policy Section 1—Conservation Approach

### Policy 1.1—The Burra Charter

*The Burra Charter principles should be used for the conservation and management of 131–147 Keira Street.*

In Australia, the *Burra Charter*<sup>1</sup> and *Practice Notes* is the main reference document that provides guidance for the conservation and management of places of cultural heritage significance.

The main principles of the Burra Charter include:

- a cautious approach to change—do as much as is necessary but as little as possible;
- use of all the skills and disciplines which can contribute to the care and study of a place;
- preference for traditional techniques and materials for the conservation of significant fabric;

- consideration of all aspects of cultural significance without unwarranted emphasis on any one value at the expense of others;
- consideration of all the factors affecting the future of a place such as the owner's needs, resources, external constraints and its physical condition; and the
- policy for managing a place must be based on an understanding of its cultural significance.

### **Policy 1.2—Conservation Processes**

*The Burra Charter definitions of conservation processes should be used when conserving places of heritage significance which includes all original shopfronts and residences at 131–141 Keira Street.*

Conservation includes all the processes of looking after a place to retain its cultural significance and includes maintenance, preservation, reconstruction and restoration (refer to definitions at Section 1.5). This conservation approach applies to all areas assessed to be of high significance (refer to Section 2.7.2).

### **Policy 1.3—Use Appropriate Expertise**

*Seek early advice from a suitably experienced specialist when planning, designing and implementing changes or planning maintenance to the properties at 131–135 and 137–139 Keira Street. Use contractors/tradespeople skilled in traditional methods and techniques for all conservation works.*

Appropriate specialists assembled to work on the conservation of 131–135 and 137–139 Keira Street could include heritage specialists, structural engineers, material conservators, tradespeople and building code compliance advisers.

Early specialist advice at concept stage is important, rather than seeking advice on potential impacts once a scheme has been developed and expectations set.

### **Policy 1.4—Induction**

*All contractors working on the site should be made aware of the heritage significance of the site and demonstrate care of fabric.*

Induction of contractors and others working on the site would include advice of the building's heritage significance, its heritage listings and guidance on significant aspects of the building.

### **Policy 1.5—Review Scope against this CMP**

*Any scope of works proposed by the owner, consultants or contractors should be reviewed against the policies of this CMS. Engage a heritage consultant to review the scope of planned work where the consultant or contractor does not have suitable experience.*

The review should occur at the outset of the project, concept design and design development as well as formal review through a heritage impact statement (HIS) to meet statutory requirements (refer to Section 6.0).

## **Policy Section 2—Owner Requirements**

### **Policy 2.1—Owner Requirements**

*Proposals for developing the site should be prepared in line with current planning controls and with regard to retaining and conserving the heritage item on the site, its context and adjacent heritage items.*

Refer to the Introduction for detail on the owner requirements.

## **Policy Section 3—Use**

All lots on the site are zoned mixed use (B4) under the WLEP 2009. Integration of business, office, residential and retail uses is supported in this zone, which is compatible with the building typology of 131–139 Keira Street.

Appropriate uses of heritage places are usually the original use for which it was designed, as this is not likely to require change that compromises heritage significance, and the use itself may be of significance.

### **Policy 3.1—Use—Commercial (131–139 Keira Street)**

*Units originally constructed for commercial use should remain in commercial use, with shopfronts for retail use and other modern areas for office or similar use.*

- *The ground floor shops should be used for commercial purposes, as five shops, in their current configuration. Modest openings could be made between shops suites 1 and 2 / 131–135 and 139 and 141 to facilitate combined commercial space, if undertaken in a reversible manner and without compromise of heritage significance overall.*
- *The ground floor rear commercial space 3 / 131–135 should remain in commercial use, and would ideally remain associated with and connected to the associated street front shop (also 3 / 131–135).*
- *The upper level commercial unit suite 4 / 131–135 should remain in commercial use.*

Anticipated change of little or no heritage impact to the ground floor shops, when retained in commercial use, may involve removal of later partition walls and upgrades of bathrooms in their current locations and provision of small kitchenette facilities.

Anticipated change of little or no heritage impact to suite 4 / 131–135 (rear upper office) and suite 3 / 131–135 (rear of shop) may involve removal of modern lightweight partitions and provision of new amenities, fixtures, fittings and finishes.

Ensure two points of access to each shop / unit, and that the place meets the requirements of the Building Code of Australia (BCA)

### **Policy 3.2—Use—Residential (131–139 Keira Street)**

*Residences originally constructed for residential use should continue or be returned to residential use.*

- *The upper level residences at 131–135 (Suite 5) and 137–141 (Unit 1/137) should remain in residential use (or be returned to residential use) without alteration to the interior layout or significant architectural detail. Compatible uses, such as office premises, may be acceptable with the same restrictions on change.*
- *The two residences 2 and 3/137 to the rear of 137–141 should be returned to a single dwelling and remain in residential use.*

Anticipated change of little or no heritage impact to the apartments of 131–139 Keira Street, when retained in original residential use, would be limited to upgrades of bathrooms and kitchens only (refer to Policies 3.8 and 3.9).



Alteration to return the residences 2 and 3/137 to a single dwelling should be limited to the processes of conservation (refer to Policy 3.7), upgrade of amenities, and making good to rear areas in relation to returning to an earlier sympathetic form.

Ensure two points of access to each residence, and that the place meets the requirements of the Building Code of Australia (BCA)



**Figure 3.1** Floor plans—Existing Use. Green and brown arrows show access points required to support the corresponding current use. Blue arrows suggest potential connections that could be made subject to heritage review. (Source: ADM Documentation October 2016, with GML overlay)

## Policy Section 4—Managing Change—Significant Fabric

Undertaking change must be done in an orderly and methodological manner to minimise adverse impacts on, and retain the significant values of, the place. This includes ensuring appropriate professional advice and expertise is sought.

### Policy 4.1—Manage According to Significance

*Individual assessments of significance must guide the conservation of significant areas, elements and fabric of the place as well as key visual and functional relationships.*

Significant fabric must be retained and conserved in accordance with Burra Charter conservation principles and procedures.

Conservation should be based on a respect for the existing fabric of a place and must involve as much as necessary and as little as possible physical intervention. With this approach the evidence provided by the fabric will remain legible. A key objective is to retain as much of the significant fabric as possible.<sup>2</sup>

The following table provides guidance for care of fabric. Refer also to the following diagram indicating areas of significance.

**Table 3.2** Heritage Conservation Policy for Minimising Impact on Fabric of Graded Significance.

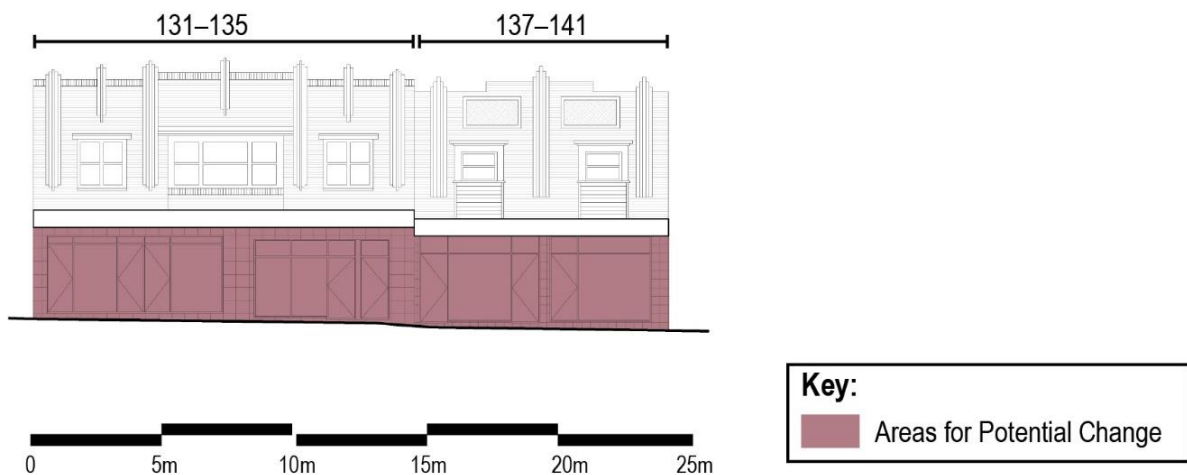
Grading	Actions for Significant Fabric
High (H)	These elements must not be obstructed by new works, structures or services and they must be clearly visible and interpreted as part of any new works. Where elements of high significance have been damaged, they must be repaired with sympathetic materials in preference to replacement.
Moderate (M)	Minor change is acceptable so long as it does not adversely affect values and fabric of high significance. High quality reconstructions and fabric introduced by the Sydney Harbour Trust may also be of moderate significance.
Little (L)	Changes are acceptable so long as they do not adversely affect values and fabric of exceptional high or moderate significance.
Intrusive (I)	Elements identified as intrusive should be removed.

### Policy 4.2—Minimising Heritage Impact

*Alterations, including demolition, of exterior elements or interior spaces should be limited to areas of lesser physical integrity and heritage significance and be guided by the assessed level of significance in this CMS.*

Undertaking change should explore alternative uses or developments for areas, elements and/or fabric to minimise adverse impacts on, and retain the significant values of, the place.

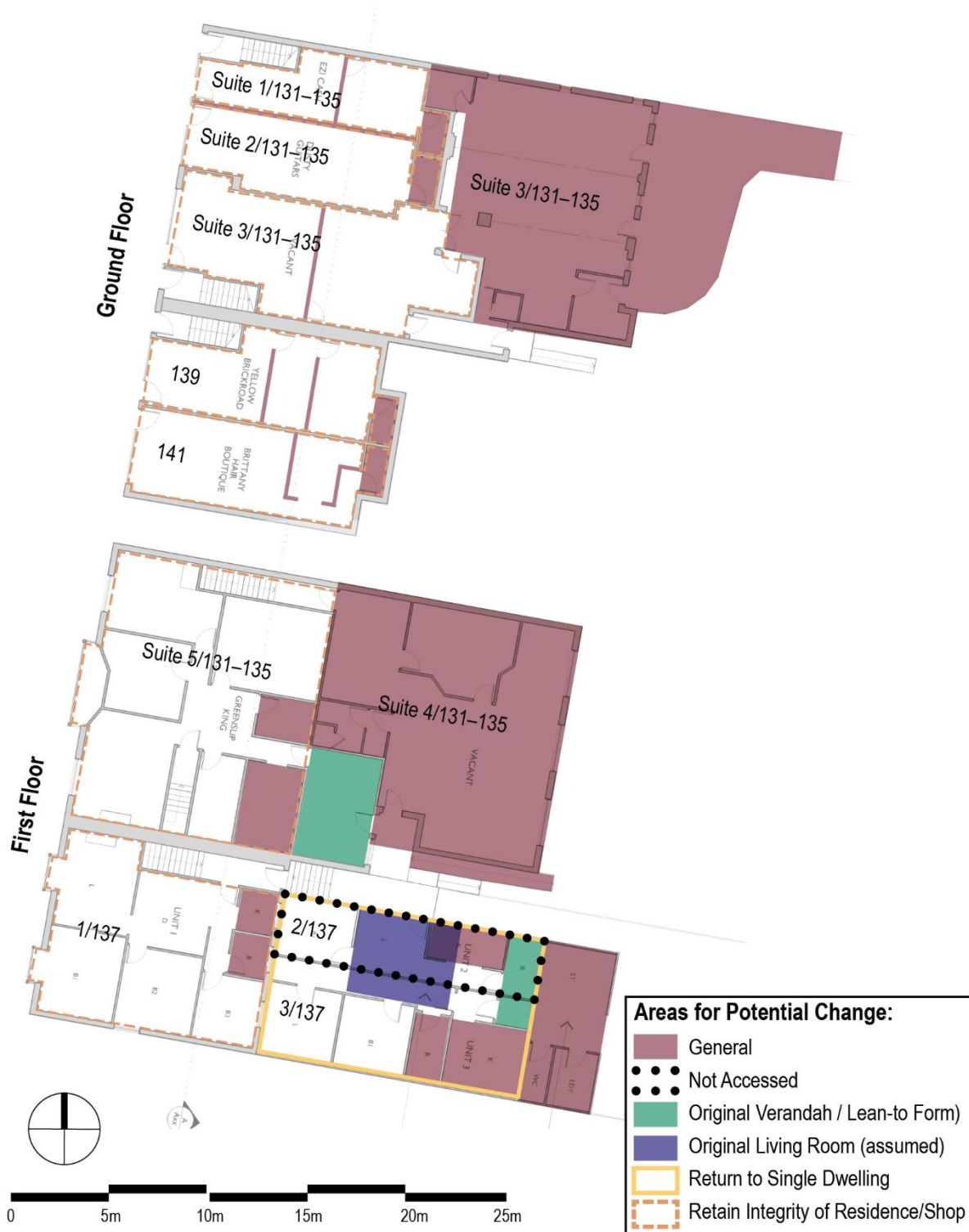
The following diagrams show areas for potential change. They are based on the significance grading diagrams in part 1 of this CMS, refer also to Figures 2.25–2.27 and the related tables of Gradings of Significance of Elements.



**Figure 3.2** Front elevation—areas for potential change. (Source: ADM Documentation October 2016, with GML overlay)



**Figure 3.3** Site plan—areas for potential change. In addition to the standard areas for change, the green area highlights former roof forms or spaces where redesign of altered elements could improve the context of the heritage item. (Source: ADM Documentation October 2016, with GML overlay)



**Figure 3.4** Ground floor plan— areas for potential change. In addition to the standard areas for change, the green area highlights former roof forms or spaces where redesign of altered elements could improve the context of the heritage item. (Source: ADM Documentation October 2016, with GML overlay)

### **Policy 4.3—New Work Generally**

*New work should be readily identifiable as such, but must respect and have minimal impact on the cultural significance of the place, and be reversible where possible.*

Opportunities for new work are limited at the subject site. New bathrooms and kitchens (if required) should be identifiable as such, and need not mimic historic design or features. Other new work may include new partition walls in the shops (after removal of the existing partition walls).

### **Policy 4.4—Demolition of Garage Structures**

*Demolition of the garage structures is only acceptable where, as part of any proposed new development, alternative on-site parking is provided for the shops and residences.*

The garage structures are of little significance, and provided that new development includes provision for parking and servicing access, the demolition of the garages is considered acceptable .

### **Policy 4.5—Reconstruction of Shopfronts**

*Remove existing shopfronts and reconstruct more appropriate shopfronts using physical and documentary evidence as much as possible, to ensure an improved and more appropriate street presentation for the buildings.*

Opportunities for reconstruction include new shopfronts and replacement awning lining. This should be identifiable on close inspection as new work, but is recommended to be based on traditional design and historic evidence. Reconstruction is likely to involve some conjecture as there is little original fabric remaining, and there are few historic photographs. Documentation should be prepared or guided by a suitably qualified heritage conservation architect.

### **Policy 4.6—Refurbish Shops (131–139 Keira Street)**

*Refurbish the shops in their current configuration by removing introduced partition walls identified to be of lower significance, and conserving significant architectural features.*

In refurbishing the shops, original ceilings, cornices, floors, and other architectural detail should be retained and conserved. Modern fitouts within these spaces are acceptable if reversible, and the original volumes of the shop spaces are readily appreciable, ie partial height partitions in preference to fully enclosed spaces.

New openings between shops should not compromise significant aspects of the shops.

### **Policy 4.7—Demolition of Coffin Ramp and Retaining Wall (131–135 Keira Street)**

*Demolition of the coffin ramp and retaining wall is acceptable where rear access to the property is maintained to the heritage item through this change, and these features are archivally recorded and interpreted.*

The coffin ramp and retaining walls provided access to and from the rear of the ground floor property (suite 3/131–135 Keira Street). While this feature has been assessed to be of moderate heritage significance, it is now redundant. This structure could be demolished without significant impact on the heritage value of the place, however, access to the rear of the heritage item is considered important for ongoing future use. If demolished this feature should be photographically recorded and interpreted.

#### **Policy 4.8—Conserve Residences (131–139 Keira Street)**

*Conserve the upper level residences in their current form with all original architectural detail, including their stair accesses from the street, refurbishing amenities of the residences only.*

*Refurbish the shops in their current configuration by removing introduced partition walls identified to be of lower significance, and conserving significant architectural features.*

#### **Policy 4.9—Return Rear Residence to Single Dwelling (137–139 Keira Street)**

*Return the dwellings 2 and 3/147 Keira Street to a single dwelling, taking care not to damage significant interiors and architectural features.*

Undertake further assessment and prepare documentation to determine the most appropriate layout for the return of this building to one dwelling. This is likely to involve re-establishing the main front door to the side passage, recreation of the large living room (demolition of the internal dividing wall in part), removal of additional kitchens and bathrooms, and refurbishment of bathrooms and kitchen. Refer also to Policy 3.11 for related roof change.

#### **Policy 4.10—Upgrade Bathrooms (131–139 Keira Street)**

*Existing bathrooms in all residences and shops should remain in their current location, however, may be refurbished through modern design/bathroom fittings. Refurbished bathrooms should retain original door/window locations and original associated joinery.*

Bathrooms in shops/units of heritage significance:

- Bathrooms in Suite 5/131–135 and 1/137 Keira Street were typically upgraded c1980s and retain no original or significant features, except for some doors and windows.
- The four small bathrooms in each of the shops (suites 1 and 2 / 131–135 and 139 and 141 Keira Street) have remnants of original fittings.

Bathrooms in non-significant aspects of the property:

- Bathrooms in Suite 3/131–135 (rear) and Suite 4/131–135 not considered significant.

Upgrading these amenity spaces is considered reasonable as there will be little or no loss of heritage significance through removal of existing fitout.

#### **Policy 4.11—Upgrade Kitchens (131–139 Keira Street)**

*Existing kitchens in all residences and shops should remain in their current location, and ideally would retain their current fittings and fixtures, with minor upgrades only.*

If demolished, and upgraded the following kitchens should be archivally recorded, refer policy 12.2.

- Kitchens in all residences (Suite 5/131–135 and 1/137) all retain original 1930s cabinets and some fittings, and as such are thought to be a potentially rare collection of standard kitchens of this era.
- The kitchen in 3/137 appears to have modified original 1930s cabinets.

Upgrading of these amenity spaces will involve some loss of heritage significance.

Other kitchens are not considered significant, such as that of Suite 4 131–135 Keira Street.



The kitchen in 2/137 is likely to date from the division of this property into two units however was not accessible and therefore not inspected.

#### **Policy 4.12—Redesign Rear Verandah (131–135 Keira Street)**

*Redesign the rear verandah of Suite 5/131–135 Keira Street to improve amenity of this apartment.*

Redesign may include an unroofed area which would return natural light and ventilation to the kitchen and bathroom. The upper level rear addition to this building resulted in enclosure of this space and therefore compromise of the amenity of the bathroom and kitchen.

This area is shown shaded green in Figures 3.1 and 3.3.

#### **Policy 4.13—Demolish Rear Verandah and Redesign Roof (2 and 3/137 Keira Street)**

*Demolish intrusive aspects of this verandah in the context of returning this building to a single dwelling and providing reasonable amenity to the rear of the building*

In association with returning this building to a single dwelling and the proposed adjacent development, demolish the intrusive later additions to the rear of this building. The aim of this demolition should be to return the rear of the building to its early verandah form with adequate private outdoor space and suitable ground levels, to regain heritage significance and viability of this dwelling.

Redesign is likely to involve a return to the earlier lower roof form, through removal of the later higher skillion style roof which wraps around the hipped roof of the main building. While most rooms below the lower roof are internal spaces, there is opportunity for partial open verandah without compromising key rooms of the dwelling.

The area is shown shaded green in Figure 3.1 is the lower roof form, and green shaded areas of Figure 3.3 indicate the potential for an open verandah. The verandah area shaded brown in Figure 3.1 could be demolished.

#### **Policy 4.14—Vertical Additions to the Heritage Items**

*Vertical additions to the heritage items are not acceptable in heritage terms.*

Additions should not compromise the significance of the buildings which are designed as two level buildings with skillion roofs to the rear. The decorative parapet should remain and not be compromised.

#### **Policy 4.15 Conservation Schedules**

*As part of any major development application, a schedule of conservation works for the heritage items should be prepared by a suitably qualified heritage conservation architect prior to the development of detailed architectural documentation to ensure that they are appropriately conserved. The recommendations of the schedule should be incorporated into the architectural documentation and specifications with an Inspection and Test plan Schedule to ensure quality inspection and sign-off by the conservation architect.*

Conservation work undertaken at the time of the proposed major development and guided by conservation schedules can provide assurance that appropriate care is taken of significant aspects of the heritage item.

Council may require evidence that appropriate conservation measures have been established prior to release of the occupation certificate.

Refer to Appendix D for preliminary Conservation Schedules.

## Policy Section 5—Managing Change—New Development



**Figure 3.5** Indicative interface zone (green area) between retained heritage items (red shaded outline, shaded pink) and proposed development (marone), other adjacent heritage items outlined in red (Source: ADM Documentation October 2016, with GML overlay)

### Policy 5.1—Coordinated Approach to Development

*Undertaken conservation work to heritage items concurrent with any proposed redevelopment of the amalgamated sites. Staged redevelopment that does not prioritise heritage must be avoided.*

Conservation of the significant aspects of 131–135 and 137–139 Keira Street would best be undertaken in association with the redevelopment of the greater site.

### Policy 5.2—Heritage Curtilage to be Retained with Proposed Development

*New development proposed in the vicinity of the heritage items should respect the existing heritage curtilage and should not impact the significance of the heritage item.*

The existing curtilage is defined as the lot boundary for the heritage item. The expanded curtilage could be considered all properties formerly associated with the Parsons' family (refer Figure 2.1). The proposed redevelopment will encroach into the site at the rear and this will give rise to potential impacts on the significance of the item. As much as possible the new developments needs to provide a suitable reduced curtilage (refer Section 2.6 this report, and Figure 3.6 above) and setting that enables the ongoing viable use of the heritage item.

Any change to the property boundary as part of the proposed new development, will require the Wollongong LEP 2009 Heritage Map to be updated accordingly.



**Figure 3.7** Indicative reduced curtilage (purple outline) behind retained significant structures of current heritage item. The existing heritage item boundary is shown in green and the expanded curtilage is shown in blue outline. (Source: C Robson & Associates Pty Ltd, 29 May 2015, with GML overlays)

### Policy 5.3—Proposed New Major Development in Heritage Context

*Any proposed new major development should be design / reviewed against the Wollongong DCP 2009 in regard to heritage considerations to ensure the heritage significance of heritage context is conserved and enhanced.*

Any proposed new major development should not compromise heritage significance of heritage items on site, heritage items in the vicinity, Wollongong Special Area 6: Keira Street and significant views to and from heritage items.

The 131–135 and 137–139 Keira Street properties should be conserved as part of any new major development on the proposed amalgamated site. These properties are part of the heritage item 131-147 Keira Street.

Council requirements for Development in the Vicinity of a Heritage Site are set out in Chapter E11, Section 14 of the WDCP 2009. Requirements in regard to significant views to and from heritage items and conservation areas are included in Section 14 also. These considerations would apply to any proposed new major development.

The Wollongong Special Area 6: Keira Street and development standards with regard to new development are provided at Chapter D13, Section 7.2.6, of the WDCP 2009.

Council requirement for Infill Development in a historic context are set out in the WDCP at Chapter E11, Section 13. This would apply to infill development proposed for Nos 115-117 Keira Street.

Heritage items on the proposed development site, and in the vicinity, are shown in Figure 3.8 below, along with significant views. The significance of these items should not be compromised by any proposed new major development.





**Figure 3.8** Heritage items in the vicinity and view analysis for heritage items (black outline indicates local significance; black dashed outline indicates state significance) in the vicinity of the proposed development site. (Source: Google Maps, overlay by GML, 2017)

#### **Policy 5.4—Interface with Proposed Development and Public Domain**

*The landscaping and urban design interface between the heritage item and the proposed new development should conserve significance, in particular the rear residence 2 and 3/137.*

Landscaping between the proposed development and the heritage item and resolution of this zone should provide suitable space for the amenity and servicing of both, and take account of the change in level from Keira Street to the rear of the site. The proposed new semi-public laneway should allow to improve the public domain and provide access to the heritage item.

#### **Policy 5.5—Amenity and Facilities for Heritage Items**

*Proposed changes or any new development should ensure adequate amenity and facilities to support the ongoing viability of the heritage item.*

Within any proposed new development provide reasonable amenity to the heritage item including provision of adequate outdoor space to the rear of the dwelling (No. 137) and dedicated carparking/service vehicle access for all units/shops.

### **Policy 5.6—Strata Plan to Include Heritage Items**

*The future Owners' Corporation Strata Plan (strata plan) for the proposed new development should include 131–135 and 137–141 Keira Street, amenity and carparking (as above in Policy 5.6), and a costed Heritage Asset Maintenance Plan to ensure its ongoing viability, care and maintenance.*

The strata plan for the proposed new development that incorporates 131–135 and 137–141 Keira Street (part of the heritage item), associated amenity and carparking and a costed Heritage Asset Maintenance Plan, prepared by a suitably qualified heritage architect, will provide some assurance of the viability of the heritage items, and provide a shared responsibility for the ongoing care and maintenance of the shops and residences.

This document would provide an inspection and maintenance schedule which addresses: building element, condition and life expectancy, inspection requirements, frequency of inspections, annual inspection and maintenance budget. It would provide assurance to future owners that, after conservation / restoration of 131-143 Keira Street, the future care of the buildings is clearly defined and appropriate funding can be allocated.

### **Policy 5.7—Historic Urban Landscape Approach**

*New development in Keira Street should follow the Historic Urban Landscape approach (HUL) approach at the inception of the project.*

Heritage should be considered at the inception of any development project, thus maximising the opportunities to integrate it as part of future planning and development.

The HUL approach can be used in association with existing LEP controls and Development Control Plan (DCP) provisions, or provide alternative but equivalent design outcomes.

When dealing with heritage conservation, the fundamental objectives applying to all heritage items when applying the HUL approach are to ensure that:

- the fabric/setting/views which make a place significant are conserved;
- new development responds to the heritage character of the item, place, conservation area, streetscape and neighbouring area (ie local nuances); and
- new development embraces, interprets and celebrates heritage as an integral and formative part of defining the next layer of the urban environment.

In recent years a framework for the management and conservation of historic urban landscapes has been prepared and adopted by the United Nations Educational, Scientific and Cultural Organization (UNESCO). The HUL approach endeavours to create synergies between historic urban landscapes and development. The approach recognises that a historic urban landscape is more than built form, and includes the identification, recognition and protection of significant urban values that define character and identity of dynamic and changing places.

The HUL approach is considered relevant and applicable to the redevelopment of the 131–147 Keira Street site. The CMS, Archaeological Assessment and supporting site history highlight the significant



history and heritage value of the heritage items 131–141 Keira Street, the wider proposed development site and local context.

Essentially the HUL process includes a series of steps which are relevant in the CMS process in guiding new development. The steps are listed below.

**Table 3.3** Historic Urban Landscape Process (UNESCO, 2011).

HUL Steps	CMS Comments/Guidance
Comprehensive survey and mapping of the area's natural, cultural and community resources.	The site history and the Archaeological Assessment appended to this CMS provide information on the cultural context of the landscape. Historical information, including research and analysis of this CMS, on the heritage item 131–147 Keira Street provides information on the cultural resource. Wollongong City Council has various related resources.
Use of participatory planning and stakeholder consultation to identify the cultural values that should be protected for enjoyment and appreciation of present and future generations and determining the attributes that convey the values.	Consultation with council has occurred. Limited consultation with the local community has been undertaken. The policies of this CMS recommend interpretation of the heritage item and associated site's history.
Assessment of the vulnerability of the attributes to socio-economic pressure and other change agents such as climate change.	Low scale early twentieth-century streetscapes and subdivision patterns, including the subject heritage item, are vulnerable to new development. Change is being driven by proximity to the Wollongong CBD and opportunities provided by the current development controls. Recognition of historic streetscapes and urban form in new development is important.
Integration of urban heritage values and their vulnerability status into framework for development which map areas of heritage sensitivity that requires attention to planning, design and implementation of development projects.	The built form, streetscape presentation and connections (access) of the heritage items should be conserved and integrated into the new development.
Prioritisation of policies and actions for conservation and development.	The policies of this CMS, Fabric Assessments, and Conservation Schedules provide a sound basis for conservation in context of development. These actions include: <ul style="list-style-type: none"> <li>• conservation of the shops and residences in original use;</li> <li>• retaining a sympathetic interface between the heritage items and the new development;</li> <li>• provide amenity to the heritage items;</li> <li>• public activation of the new laneway; and</li> <li>• recognition of the Parsons family's contribution to the development of Wollongong and the subject site.</li> </ul>
Establishment of appropriate partnerships and local management frameworks for key conservation and development, as well as mechanisms for the coordination of activities between public, private and civic entities and organisations.	The policies of this CMS, at the request of council, provide guidance on strata plan arrangements to ensure conservation of the heritage item in context of the proposed development. Further opportunities existing for public activation of the proposed laneway as above.

The following policies provide key design guidelines to guide future development on the amalgamated site associated with the heritage items subject of this report. These recommendations have been adapted from the UNESCO HUL approach, which stems from an understanding that urban heritage has cultural and social value that enhances the liveability of urban areas. Urban heritage can also support economic development, social cohesion and belonging.

*Policy 5.7.1—Site Planning*

<b>Lot Consolidation</b>	<b>Comments</b>
Rationale	Individual lots can evidence the historic layout and pattern of subdivision or commercial development pattern (eg along Keira Street). Higher density development in critical growth areas may be considered through lot consolidation where this will not give rise to an adverse material impact on significant heritage values or area character.
Objective	Enable the consolidation of small individual lots into larger lots, but ensure the original subdivision pattern is represented/interpreted through finer grain design where it is assessed as significant.
Recommendation	The proposed development should be set back to allow a practical and sympathetic interface to the heritage item on ground level, to allow for amenity and viability of the heritage item as well as interpretation of the earlier use of the site.

<b>Siting and Setback</b>	<b>Comments</b>
Rationale	The siting and setback of buildings and building elements is important in forming and/or enhancing the character of the streetscape and the relationship between adjoining buildings. Consider the siting, orientation, modulation and visibility of new development with regard to existing streetscape neighbourhood context.
Objective	Maintain the prominence/legibility of heritage items, contributory buildings and streetscapes while appropriately siting and designing new development.
Recommendation	The proposed development (taller buildings) should be set back to allow a visual and physical separation and legibility of the heritage item.  Design and modulation of the related façades and ground level units of the new development should respond to the key attributes of the heritage item—bays to façade and verticality of Art Deco.

<b>Permeability</b>	<b>Comments</b>
Rationale	Through-site links and connections can evidence the historic layout and pattern of subdivision or commercial development pattern (eg use of the properties along Keira Street) and increase public activation and safety.
Objective	Facilitate permeability of the amalgamated site integrating the heritage items with the new development, retaining and interpreting historic pattern of use of the site, activating new and retained elements of the site, increasing the viability of the heritage items and increasing public safety of rear lane areas.
Recommendation	Consider through-site links which interpret historic use of the site and do not compromise heritage significance. This could include: <ul style="list-style-type: none"> <li>• general passageways through the new development;</li> <li>• retaining the links of the suite 3/131–135 Keira Street to the large rear shop space and rear access;</li> <li>• retaining or reinstating front and rear door access points to all residences; and</li> <li>• internal connections between shops in the heritage buildings should occur in a reversible manner where it does not compromise the heritage values, or impede legibility of the buildings.</li> </ul>

<b>Transition Zones</b>	<b>Comments</b>
Rationale	Transition refers to changes in scale, form, massing, materiality, etc, between buildings—with an area, within a streetscape, as well as from one block to the next.  Any potential future development must consider and include appropriate transitions between existing and new building stock and land uses.

Objective	Ensure appropriate transitions from new development sites to existing buildings, blocks and areas are incorporated, and that new development does not physically overwhelm/dominate adjacent lands.
Recommendations	<p>The transition between the proposed new development and the heritage items should be legible and respectful.</p> <ul style="list-style-type: none"> <li>On a streetscape level, this should allow legibility of the heritage item similar to Siting and Setback.</li> <li>At the interface between the heritage items and proposed new buildings, the transition zone should resolve the change of level and provide an appropriate context for the rear of the heritage items.</li> </ul>

*Policy 5.7.2—Design and Architectural Diversity*

Heritage Items	Comments
Rationale	Future development in the vicinity of these heritage items has the potential to impact upon the heritage significance of the item and their setting.
Objective	Ensure that development heritage items is designed and sited to project the heritage significance of the item.
Recommendation	

Scale	Comments
Rationale	<p>The scale (size, height and bulk) of a new building is of paramount importance. It should not dominate or compete with its adjacent buildings or heritage items in the vicinity, or impact a historically significant pattern of development or character of a heritage conservation area.</p> <p>New development, including alterations or additions, should not be of a size or scale that dominates the original heritage item/contributory building, or impacts on the significance of a historic context and setting (ie HCA or streetscape).</p>
Objective	<p>Ensure that new developments are of a compatible scale with the surrounding heritage items, contributory items or HCAs.</p> <p>(The expectation of scale of the new development is predetermined by Wollongong Council LEP planning controls.)</p>
Recommendation	<p>The proposed development should reflect the Art Deco streetscape character of the heritage items in a contemporary manner, to provide a suitable backdrop.</p> <p>Key design attributes of the Art Deco heritage items are brick façades, stepped parapet walls, and vertical architectural features defining bays.</p> <p>The new development need not mimic the Art Deco design, but could be modulated similarly, and use materials and colours which interpret the heritage items in a contemporary way.</p>

Form, Massing and Articulation	Comments
Rationale	<p>Refer to building's overall shape and the arrangements of its parts. Roof, parapets, façades and verandahs/awnings are the primary elements of mass in heritage buildings.</p> <p>The overall form and massing of historic buildings typically evidences the historic development of the area and characteristics of a building typology (eg Inter-War commercial shopfronts, or Federation bungalow).</p>
Objective	Ensure that new developments are of an appropriate form and mass adjacent to or in the vicinity of heritage items, contributory items or conservation areas.
Recommendation	As above in scale.

Character	Comments
Rationale	There is a distinct historic Inter-War character in this part of the Wollongong CBD. This character is important to the community's sense of identity and place. Most buildings contribute in some way to the urban and public domain character of the area in which they are located.
Objective	The aim is to harmonise with and complement the existing streetscape or fabric of individual heritage buildings. Development should not dominate surroundings but should relate sympathetically to its existing architecture scale, mass, proportion, materiality, etc.
Recommendation	As above in scale.

Materials, Colours and Finishes	Comments
Rationale	Materials and colours will influence the degree to which any new building will blend with or intrude on the general streetscape or character of the area. The materials used in a new building might be completely different from those around it, but can be brought into an overall picture of harmony by careful selection of colour, materials and finishes.
Objective	Uses materials, colours and finishes that reflect and harmonise with original materials to maintain the character of heritage items and contributory buildings. They should respond to but not imitate the original palette of material in the locality.
Recommendation	A combination of modern materials and traditional materials is recommended for the new development. Use of articulated brick in select areas to facilitate harmonisation of the proposed buildings in the locality and adjacent to the heritage items. These areas could include the façades of proposed new residential tower, and urban elements of the laneway.

HUL Shopfronts	Comments
Rationale	The design, form and character of shopfronts can convey a distinctive identity within commercial areas.
Objective	To reinforce and enhance the distinctive character of the history retail strip along Keira Street, and improve the integrity of the heritage buildings.
Recommendation	Provide replacement shopfronts which draw from the historic form and documentary evidence to enhance the character and visual amenity of the historic Keira Street streetscape.

Signage	Comments
Rationale	Signage is a necessity in any development (commercial, retail etc). However, signage should be carefully designed so that it is integrated with and does not overwhelm the building's form, respects the amenity of residents and pedestrians, the safety of motorists, and does not adversely affect the character of significant areas/items.
Objective	Retain and protect the significant characteristics of buildings, streetscapes and vistas, while encouraging well-designed and well-positioned signs which contribute to the vitality of the roadway and locale.  Provide excellent and creative signage design which is visually distinctive, engaging and high quality in the public domain.  Signage design and location must conserve the heritage significance of an item or heritage conservation area.
Recommendation	While there is little evidence of original signage on the Keira Street heritage items, the pattern of advertising on the shop awning fascia, and below on the shopfront glazing, provides a suitable model for future signage. Well designed and coordinated signage suspended from the awning could also be employed.

*Policy 5.7.3—Amenity*

<b>Views</b>	<b>Comments</b>
Rationale	Views to a place are important to an area's identity at a low scale, as for the heritage items, and from some distance at a greater scale.
Objective	Protect significant views and vistas including skyline features, and views to and from the heritage item.
Recommendation	Views to the heritage item are primarily along Keira Street (from the opposite side of the road) and from a laneway directly opposite. These significant views should be protected and enhanced where possible by new development.
<b>Public Domain Features</b>	<b>Comments</b>
Rationale	Public domain spaces and features can provide a quality of amenity and identity to a place.
Objective	Provide public domain gestures that contribute to the quality and character of the public domain.
Recommendation	Access to the proposed residential units provides an opportunity for a public laneway between the heritage items and the new buildings. This public laneway and use of other public domain features present an opportunity to interpret the Parsons' family business. At the interface between the rear of the heritage items and on the street frontage, consider introducing public art which draws inspiration from and interprets the history of the site. Other public domain feature that may enhance the quality of the interface area includes paving design, signage, seating and retaining walls.
<b>Landscape Elements</b>	<b>Comments</b>
Rationale	Landscaping is related to public domain features and can enhance the setting of a place.
Objective	Where appropriate, innovate through introduction of green walls, laneways and roof gardens to introduce soft landscape elements.
Recommendation	Provide suitable landscaping (hard and soft) to enhance the setting of the heritage items and the proposed new development, in particular at the interface.

**Policy 5.8 Signage**

*New signage on the heritage item should be in accordance with signage clause of the WDCP 2009, and intrusive non-significant signage features should be carefully removed so as not to damage significant fabric.*

The 131–135 and 137–139 Keira Street properties have a range of signage types, only some of which comply with council policies. Existing signage should be reviewed by a heritage consultant and assessed for significance and compliance against Council policies for heritage buildings.

Council requirement for heritage items and areas are set out in the WDCP 2009 in Chapter E11, Section 18, and Chapter C1, Section 13 with regard to heritage buildings.

## Policy Section 6—Statutory Requirements

### Policy 6.1—Development Consent Process

*Check heritage and planning consent requirements prior to planning any changes to the place. Obtain any necessary consent prior to undertaking work and carry out work in accordance with any conditions placed on these approvals.*

The 131–135 and 137–139 Keira Street properties are part of local heritage item No. 6255 identified in Schedule 5 Environmental Heritage of Wollongong LEP 2009.

Under Part 5, Clause 5.10 (2) of the LEP development consent of Wollongong City Council is required for change affecting the properties, as follows:

- (a) demolishing or moving a heritage item or a building, work, relic or tree within a heritage conservation area,*
- (b) altering a heritage item or a building, work, relic, tree or place within a heritage conservation area, including (in the case of a building) making changes to the detail, fabric, finish or appearance of its exterior,*
- (c) altering a heritage item that is a building by making structural changes to its interior,*
- (d) disturbing or excavating an archaeological site while knowing, or having reasonable cause to suspect, that the disturbance or excavation will or is likely to result in a relic being discovered, exposed, moved, damaged or destroyed,*
- (e) disturbing or excavating a heritage conservation area that is a place of Aboriginal heritage significance,*
- (f) erecting a building on land on which a heritage item is located or that is within a heritage conservation area,*
- (g) subdividing land on which a heritage item is located or that is within a heritage conservation area.*

Consent is not required in relation to heritage if the proposed work is of a minor nature and would not adversely affect the significance of the heritage item or archaeological site and the applicant has notified Wollongong City Council of the proposed development and received written agreement of this from Council (Clause 5.10 [3]).

### Policy 6.2—Heritage Impact Statement

*Prepare a Heritage Impact Statement (HIS) report to accompany a development application for change to the heritage item.*

Under Part 5, Clause 5.10 (5) of the LEP Wollongong City Council may require a HIS that assesses the extent to which the proposed development would impact the heritage significance of the heritage item.

### Policy 6.3—Conservation Management Plan

*Prepare a Conservation Management Plan (CMP) report to accompany a development application for change to the heritage item.*

Under Part 5, Clause 5.10 (6) of the LEP Wollongong City Council may require a CMP to guide proposed development depending on the significance of the heritage item, and extent of change proposed. This CMS has been prepared as required by council. It follows the standard CMS format as appropriate for a local heritage item, but contains all the key elements of a CMP.



## Policy Section 7—Archaeology

### Policy 7.1—Manage Archaeological Resource of the Site

*Manage the archaeological resource associated with the 131–135 and 137–139 Keira Street properties, and the greater development site through recognition of its assessed heritage significance and in accordance with the NSW Heritage Act and NPW Act.*

Excavation work should include consideration of processes as required under the NSW Heritage Act. Contractors should be made aware of the obligations of all on-site personnel with regard to archaeology.

Any program of archaeological excavation would need to be undertaken in accordance with an excavation permit under Section 140, or an exception from the need for an excavation permit under Section 139(4) of the Heritage Act.

Further detail and recommendations are made in the Archaeological Assessment (GML, 2016).

### Policy 7.2—Archaeological Assessment

*An archaeological assessment by a suitably qualified historical archaeologist, experienced in working on state significant sites, must be carried out as part of the assessment process prior to Heritage Council of NSW approval of any works that may disturb archaeological relics.*

The aim of an archaeological assessment is to gather information about the previous layouts and character of the specified area to inform future conservation, interpretation and upgrading work, and determine if works will have an archaeological impact or whether further archaeological investigation is likely to be required.

The Historical Archaeological Assessment (HAA) report<sup>3</sup> prepared, as required by council and completed in advance in response to this policy, is appended to this CMS and provides the following Statement of Significance for the proposed development site (refer to HAA, Appendix G):

*The archaeological resource of the Keira Street site holds local significance as a component of the early history and development of the city of Wollongong. The site lies within the historic core of Wollongong—initially forming part of a large agricultural land holding, later becoming part of the commercial hub along Keira Street from the late nineteenth into the twentieth century. Potential archaeological remains are likely to comprise structural remains of late-nineteenth or early-twentieth century buildings and associated artefact deposits which have the potential to enhance our understanding of this area beyond what can be ascertained from the available documentary evidence. Additionally, the site is associated with the Parsons family, who operated their undertaking business within the site during the early to mid-twentieth century, and continue to operate in the Illawarra region.*

### Policy 7.3—Archaeological Potential

*Provide the Archaeological Assessment for the greater development site to Wollongong City Council as part of the development application (or prior) for their assessment of the value of further archaeological investigations to the local area of Wollongong CBD.*

For archaeological sites that have been assessed as containing ‘relics’, understanding the significant values is critical because these sites are a non-renewable resource. The identified values of the site or ‘relics’ (the heritage significance) will help determine which management options are most appropriate.

Any proposed development on the site which would impact on areas of potentially significant archaeology of the site should commence, in the first instance, with a program of historical

archaeological test excavation, as indicated in the HAA (refer to Section 7.2) to determine whether further archaeological excavation is required.

The footprint of the proposed development site at 131–135 and 137–141 Keira Street will impact on the potential archaeology of the site (refer to Figure 2.7 of this report).

## **Policy Section 8—Gaps in Knowledge**

### **Policy 8.1—Resolve Gaps in Knowledge**

*Gaps in knowledge should be resolved as early in the process and possible.*

There are a number of matters that have not yet been resolved or fully understood. This CMS is a high level document providing overarching guidance, and access was not possible to all areas of the heritage item. Conservation work to the heritage item that may require further detailed understanding include:

- original floor plan to return 2 and 3/137 Keira Street to a single dwelling;
- original roof form to the rear of the hipped roof of 2 and 3/137 Keira Street;
- viability of opening up the enclosed verandah to 4/143 Keira Street; and
- appropriate redesign for shopfronts to replace modern aluminium framed glass.

## **Policy Section 9—Copies of the Documents**

### **Policy 9.1—Copies of the Documents**

*Copies of this CMS, and any other documents prepared in association with the proposed development, should be provided to Wollongong City Council Archives/Library and made publicly available.*

Documents this policy applies to include the CMS, the Archaeological Assessment (including the site history), archival recordings and the Interpretation Plan.

## **Policy Section 10—Public Safety and Building Codes**

The Building Code of Australia (BCA) sets out legislative requirements in terms of the structure, fire resistance, access and egress, fire-fighting equipment, mechanical ventilation and certain aspects of health and amenity.

Compliance with building regulations should be achieved using their objectives and performance requirements rather than deemed-to-satisfy provisions of the BCA. Some construction features of the heritage item may not comply with the deemed-to-satisfy requirements because of the original construction methods and materials used. The BCA permits alternatives to its deemed-to-satisfy requirements provided that these can be demonstrated to achieve at least the same level of compliance with its performance requirements. Relevant and experienced advice and practitioners must be used to assist in works of this nature.

### **Policy 10.1—Public Safety and Security Upgrades Generally**

*Consider both visual and physical impacts associated with planned safety and security upgrades and aim to minimise adverse heritage impacts. Seek heritage advice where proposed work will impact an item of exceptional, high or medium heritage significance.*

Consider alternative approaches to the resolution of functional, safety, BCA or health requirements to minimise any adverse impacts upon significant fabric or features. Re-use of existing penetrations and fixing points is generally recommended to minimise disturbance to significant fabric.

### **Policy 10.2—Fire Safety**

*The building should not be used for any purpose for which compliance with fire safety regulations would adversely affect its significance. Changes to achieve fire safety may be acceptable provided they are planned to occur in areas of lesser significance in preference to areas of higher significance and that all alternatives are conscientiously investigated and demonstrated to have been investigated.*

Where there is a conflict between the BCA and the heritage significance of the building, alternative options to enable compliance should be investigated, including fire engineered solutions. Such conflicts may be resolved in collaboration with the Heritage Council's Fire Access and Services Advisory Panel, administered by the NSW Heritage Division of the NSW Office of Environment and Heritage. Methods of complying with ordinance requirements which utilise fire or smoke detection and active fire suppression are preferred to the addition of fire rated material, which may obscure extant finishes.

### **Policy 10.3—Structural Adaptation**

*Adaptation of fabric to prevent structural failure of existing fabric is acceptable, provided that alteration of significant fabric is minimised. Advice from an experienced heritage engineer will be required in association with review against this CMS.*

The structural adequacy of existing fabric must be assessed from first principles by a structural engineer qualified and experienced in the assessment of existing fabric considered to be inadequate with reference to current deemed-to-satisfy codes.

### **Policy 10.4—Hazardous Materials**

*Ensure that removal of hazardous material is carried out in a manner that complies with best practice and does not detrimentally impact on significant heritage fabric.*

Hazardous materials include lead paint and asbestos. Heritage specialist advice should be sought for removal proposals in advance to ensure adverse heritage impacts of hazard removal are minimised.

## **Policy Section 11—Accessibility**

### **Policy 11.1—Accessibility Generally**

*Consider both visual and physical impacts associated with provision of new or upgraded access to the site and building, and aim to minimise adverse heritage impacts. Seek heritage advice where proposed work will impact an item of high or medium heritage significance.*

The *Disability Discrimination Act 1992* (Cwlth) (DDA) makes it unlawful to discriminate against people on the grounds of their disability. Section 23 of the DDA requires non-discriminatory access to premises which the public or a section of the public is entitled or allowed to use.

Heritage places are not exempt from the DDA, although the Australian Human Rights Commission has advised that heritage significance may be taken into account when considering whether providing equitable access would result in unjustifiable hardship.

- Use of the three residences is recommended to be residential, and not to be adapted for commercial use (ie Suite 5/131–135 Keira Street) to avoid the need to provide lift or other access to these spaces.
- Refurbishment of the ground level shops should allow to provide accessibility from Keira Street in line with 1992 DDA requirements.
- Ongoing commercial use of both levels of the rear of 3/131–135 Keira Street will require consideration of accessibility. Provision of a lift, internal access, ramps from the rear, or other means of access as required should be investigated to ensure there is no adverse heritage impact.

An accessibility consultant should be engaged in regard to accessibility requirements of the different premises for the heritage items, and required access should aim to ensure that retention of the original uses can be carried out with minimal impact on significance fabric.

## **Policy Section 12—Interpretation and Recording**

### **Policy 12.1—Interpret the History of the Site**

*Interpretation of the site should be undertaken as part of any significant redevelopment of the amalgamated site associated with the heritage item, and should be guided by an Interpretation Plan informed by relevant historic resources and include key aspects of heritage significance of the place.*

The site's history should be interpreted utilising information from this CMS and the Archaeological Assessment including the history, historical themes and archaeological investigations for the site. This would include all properties associated with the Parsons' family (refer Figure 2.1).

It is recommended that an Interpretation Plan is prepared, and may be required as a development consent condition. The recommendations of the Interpretation Plan should be implemented before the occupation of the proposed development to the satisfaction of the Wollongong City Council, and a copy permanently archived and made available through the City of Wollongong archives/library.

The history of this CMS and the Archaeological Assessment include a list of historic themes and Analysis of Significance which could be developed further towards an Interpretation Plan that communicates the heritage values of the property.

Interpretation measures may include physical site elements which reflect past features as well as historic photographs and graphic representations of past events or people associated with the Parsons family and their undertaking business.

### **Policy 12.2—Archival Recording**

*Where major change is proposed to a site of heritage significance or where demolition of part of the site is proposed, an Archival Recording of the property should be undertaken, and provided to Wollongong City Council Archives.*

Archival recording allows characteristics of a place to be conserved in the historic record when changes are proposed. It also allows future researchers to understand how the place has changed over time.

Refer to the NSW Heritage Branch guide *How to Prepare Archival Records of Heritage Items*.<sup>4</sup> Generally, digital photographic recording should be sufficient, provided the NSW Heritage Council guidelines for archival recording are followed.

Archival recording of significant change proposed for the 131–135 and 137–139 Keira Street properties, and the greater development site may be a condition of consent. Archival Recording should be undertaken to the satisfaction of the Wollongong City Council, and a copy permanently archived and made available through the City of Wollongong archives / library.

## **Policy Section 13—Adoption and Review of CMS**

### **Policy 13.1—Adoption of CMS**

*The CMS should be reviewed by all relevant parties including the current and future owners of the site and relevant consent authorities, including Wollongong City Council, and after any required adjustment, should be adopted as a guide to future conservation and development of the place. A copy of the CMS should be available in the Wollongong City Council Archive/Library.*

### **Policy 13.2—Review of CMS**

*CMPs (including CMS) must be reviewed and updated within five years to remain relevant to ongoing change and use of the place, and statutory compliance. A review of the CMS should also be undertaken after significant changes to the property.*

The CMS has been prepared to guide major development on the site for the first time since the 1930s. Following redevelopment, or after five years, this CMS should be reviewed to ensure ongoing care and the heritage items remains relevant and up to date.

### 3.3 Endnotes

- <sup>1</sup> Australia ICOMOS Inc, *The Burra Charter: the Australia ICOMOS Charter for Places of Cultural Significance 2013*, Australia ICOMOS Inc, Burwood VIC, viewed 8 November 2016 <<http://australia.icomos.org/publications/charters/>>.
- <sup>2</sup> Australia ICOMOS Inc, *The Burra Charter: the Australia ICOMOS Charter for Places of Cultural Significance 2013*, Australia ICOMOS Inc, Burwood VIC, Article 3.
- <sup>3</sup> GML Heritage, Keira and Thomas Streets, Wollongong Historical Archaeological Assessment, report prepared for Knight Frank Town Planners, 2016.
- <sup>4</sup> Heritage Council of NSW 2006, *Guidelines for Photographic Recording of Heritage Items Using Film or Digital Capture*, Sydney, viewed 8 November 2016 <<http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/infophotographicrecording2006.pdf>>.



## 4.0 Appendices

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### **Appendix A**

*The Burra Charter: the Australia ICOMOS Charter for Places of Cultural Significance 2013*

### **Appendix B**

Statutory Listing (SHI database printout—for subject heritage item)

### **Appendix C**

Photographs, GML Heritage, 2017

### **Appendix D**

Schedule of Conservation Works, GML Heritage, 2017

### **Appendix E**

Demolition Plan, ADM Architects

### **Appendix F**

Interim Heritage Advice, GML Heritage, (1 September 2016)

### **Appendix G**

Wollongong City Council Letter—Request for Further Information

### **Appendix H**

Conservation Management Strategy (CMS) Forms, Part 1 and 2, NSW Heritage

### **Appendix I**

Archaeological Assessment and History, GML Heritage, 2017



## **Appendix A**

*The Burra Charter: the Australia ICOMOS Charter for Places of Cultural Significance 2013*

# THE BURRA CHARTER

The Australia ICOMOS Charter for  
Places of Cultural Significance

2013



Australia ICOMOS Incorporated  
International Council on Monuments and Sites

## ICOMOS

ICOMOS (International Council on Monuments and Sites) is a non-governmental professional organisation formed in 1965, with headquarters in Paris. ICOMOS is primarily concerned with the philosophy, terminology, methodology and techniques of cultural heritage conservation. It is closely linked to UNESCO, particularly in its role under the World Heritage Convention 1972 as UNESCO's principal adviser on cultural matters related to World Heritage. The 11,000 members of ICOMOS include architects, town planners, demographers, archaeologists, geographers, historians, conservators, anthropologists, scientists, engineers and heritage administrators. Members in the 103 countries belonging to ICOMOS are formed into National Committees and participate in a range of conservation projects, research work, intercultural exchanges and cooperative activities. ICOMOS also has 27 International Scientific Committees that focus on particular aspects of the conservation field. ICOMOS members meet triennially in a General Assembly.

## Australia ICOMOS

The Australian National Committee of ICOMOS (Australia ICOMOS) was formed in 1976. It elects an Executive Committee of 15 members, which is responsible for carrying out national programs and participating in decisions of ICOMOS as an international organisation. It provides expert advice as required by ICOMOS, especially in its relationship with the World Heritage Committee. Australia ICOMOS acts as a national and international link between public authorities, institutions and individuals involved in the study and conservation of all places of cultural significance. Australia ICOMOS members participate in a range of conservation activities including site visits, training, conferences and meetings.

## Revision of the Burra Charter

The Burra Charter was first adopted in 1979 at the historic South Australian mining town of Burra. Minor revisions were made in 1981 and 1988, with more substantial changes in 1999.

Following a review this version was adopted by Australia ICOMOS in October 2013.

The review process included replacement of the 1988 Guidelines to the Burra Charter with Practice Notes which are available at: [australia.icomos.org](http://australia.icomos.org)

Australia ICOMOS documents are periodically reviewed and we welcome any comments.

## Citing the Burra Charter

The full reference is *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance, 2013*. Initial textual references should be in the form of the *Australia ICOMOS Burra Charter, 2013* and later references in the short form (*Burra Charter*).

## © Australia ICOMOS Incorporated 2013

The Burra Charter consists of the Preamble, Articles, Explanatory Notes and the flow chart.

This publication may be reproduced, but only in its entirety including the front cover and this page. Formatting must remain unaltered. Parts of the Burra Charter may be quoted with appropriate citing and acknowledgement.

Cover photograph by Ian Stapleton.

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# The Burra Charter

(The Australia ICOMOS Charter for Places of Cultural Significance, 2013)

## Preamble

Considering the International Charter for the Conservation and Restoration of Monuments and Sites (Venice 1964), and the Resolutions of the 5th General Assembly of the International Council on Monuments and Sites (ICOMOS) (Moscow 1978), the Burra Charter was adopted by Australia ICOMOS (the Australian National Committee of ICOMOS) on 19 August 1979 at Burra, South Australia. Revisions were adopted on 23 February 1981, 23 April 1988, 26 November 1999 and 31 October 2013.

The Burra Charter provides guidance for the conservation and management of places of cultural significance (cultural heritage places), and is based on the knowledge and experience of Australia ICOMOS members.

Conservation is an integral part of the management of places of cultural significance and is an ongoing responsibility.

### Who is the Charter for?

The Charter sets a standard of practice for those who provide advice, make decisions about, or undertake works to places of cultural significance, including owners, managers and custodians.

### Using the Charter

The Charter should be read as a whole. Many articles are interdependent.

The Charter consists of:

- Definitions Article 1
- Conservation Principles Articles 2–13
- Conservation Processes Articles 14–25
- Conservation Practices Articles 26–34
- The Burra Charter Process flow chart.

The key concepts are included in the Conservation Principles section and these are further developed in the Conservation Processes and Conservation Practice sections. The flow chart explains the Burra Charter Process (Article 6) and is an integral part of

the Charter. Explanatory Notes also form part of the Charter.

The Charter is self-contained, but aspects of its use and application are further explained, in a series of Australia ICOMOS Practice Notes, in *The Illustrated Burra Charter*, and in other guiding documents available from the Australia ICOMOS web site: [australia.icomos.org](http://australia.icomos.org).

### What places does the Charter apply to?

The Charter can be applied to all types of places of cultural significance including natural, Indigenous and historic places with cultural values.

The standards of other organisations may also be relevant. These include the *Australian Natural Heritage Charter*, *Ask First: a guide to respecting Indigenous heritage places and values* and *Significance 2.0: a guide to assessing the significance of collections*.

National and international charters and other doctrine may be relevant. See [australia.icomos.org](http://australia.icomos.org).

### Why conserve?

Places of cultural significance enrich people's lives, often providing a deep and inspirational sense of connection to community and landscape, to the past and to lived experiences. They are historical records, that are important expressions of Australian identity and experience. Places of cultural significance reflect the diversity of our communities, telling us about who we are and the past that has formed us and the Australian landscape. They are irreplaceable and precious.

These places of cultural significance must be conserved for present and future generations in accordance with the principle of inter-generational equity.

The Burra Charter advocates a cautious approach to change: do as much as necessary to care for the place and to make it useable, but otherwise change it as little as possible so that its cultural significance is retained.



## Articles

### Article 1. Definitions

For the purposes of this Charter:

- 1.1 *Place* means a geographically defined area. It may include elements, objects, spaces and views. Place may have tangible and intangible dimensions.
- 1.2 *Cultural significance* means aesthetic, historic, scientific, social or spiritual value for past, present or future generations.  
  
Cultural significance is embodied in the *place* itself, its *fabric*, *setting*, *use*, *associations*, *meanings*, *records*, *related places* and *related objects*.  
  
Places may have a range of values for different individuals or groups.
- 1.3 *Fabric* means all the physical material of the *place* including elements, fixtures, contents and objects.
- 1.4 *Conservation* means all the processes of looking after a *place* so as to retain its *cultural significance*.
- 1.5 *Maintenance* means the continuous protective care of a *place*, and its *setting*.  
  
Maintenance is to be distinguished from repair which involves *restoration* or *reconstruction*.
- 1.6 *Preservation* means maintaining a *place* in its existing state and retarding deterioration.
- 1.7 *Restoration* means returning a *place* to a known earlier state by removing accretions or by reassembling existing elements without the introduction of new material.
- 1.8 *Reconstruction* means returning a *place* to a known earlier state and is distinguished from *restoration* by the introduction of new material.
- 1.9 *Adaptation* means changing a *place* to suit the existing *use* or a proposed use.
- 1.10 *Use* means the functions of a *place*, including the activities and traditional and customary practices that may occur at the place or are dependent on the place.

## Explanatory Notes

Place has a broad scope and includes natural and cultural features. Place can be large or small: for example, a memorial, a tree, an individual building or group of buildings, the location of an historical event, an urban area or town, a cultural landscape, a garden, an industrial plant, a shipwreck, a site with in situ remains, a stone arrangement, a road or travel route, a community meeting place, a site with spiritual or religious connections.

The term cultural significance is synonymous with cultural heritage significance and cultural heritage value.

Cultural significance may change over time and with use.

Understanding of cultural significance may change as a result of new information.

Fabric includes building interiors and sub-surface remains, as well as excavated material.

Natural elements of a place may also constitute fabric. For example the rocks that signify a Dreaming place.

Fabric may define spaces and views and these may be part of the significance of the place.

See also Article 14.

Examples of protective care include:

- maintenance — regular inspection and cleaning of a place, e.g. mowing and pruning in a garden;
- repair involving restoration — returning dislodged or relocated fabric to its original location e.g. loose roof gutters on a building or displaced rocks in a stone bora ring;
- repair involving reconstruction — replacing decayed fabric with new fabric

It is recognised that all places and their elements change over time at varying rates.

New material may include recycled material salvaged from other places. This should not be to the detriment of any place of cultural significance.

Use includes for example cultural practices commonly associated with Indigenous peoples such as ceremonies, hunting and fishing, and fulfillment of traditional obligations. Exercising a right of access may be a use.

## Articles

- 1.11 *Compatible use* means a *use* which respects the *cultural significance* of a *place*. Such a use involves no, or minimal, impact on cultural significance.
- 1.12 *Setting* means the immediate and extended environment of a *place* that is part of or contributes to its *cultural significance* and distinctive character.
- 1.13 *Related place* means a *place* that contributes to the *cultural significance* of another place.
- 1.14 *Related object* means an object that contributes to the *cultural significance* of a *place* but is not at the place.
- 1.15 *Associations* mean the connections that exist between people and a *place*.
- 1.16 *Meanings* denote what a *place* signifies, indicates, evokes or expresses to people.
- 1.17 *Interpretation* means all the ways of presenting the *cultural significance* of a *place*.

# Conservation Principles

## Article 2. Conservation and management

- 2.1 *Places of cultural significance* should be conserved.
- 2.2 The aim of *conservation* is to retain the *cultural significance* of a *place*.
- 2.3 *Conservation* is an integral part of good management of *places of cultural significance*.
- 2.4 *Places of cultural significance* should be safeguarded and not put at risk or left in a vulnerable state.

## Article 3. Cautious approach

- 3.1 *Conservation* is based on a respect for the existing *fabric, use, associations* and *meanings*. It requires a cautious approach of changing as much as necessary but as little as possible.
- 3.2 Changes to a *place* should not distort the physical or other evidence it provides, nor be based on conjecture.

## Article 4. Knowledge, skills and techniques

- 4.1 *Conservation* should make use of all the knowledge, skills and disciplines which can contribute to the study and care of the *place*.

## Explanatory Notes

Setting may include: structures, spaces, land, water and sky; the visual setting including views to and from the place, and along a cultural route; and other sensory aspects of the setting such as smells and sounds. Setting may also include historical and contemporary relationships, such as use and activities, social and spiritual practices, and relationships with other places, both tangible and intangible.

Objects at a place are encompassed by the definition of place, and may or may not contribute to its cultural significance.

Associations may include social or spiritual values and cultural responsibilities for a place.

Meanings generally relate to intangible dimensions such as symbolic qualities and memories.

Interpretation may be a combination of the treatment of the fabric (e.g. maintenance, restoration, reconstruction); the use of and activities at the place; and the use of introduced explanatory material.

The traces of additions, alterations and earlier treatments to the fabric of a place are evidence of its history and uses which may be part of its significance. Conservation action should assist and not impede their understanding.

## Articles

- 4.2 Traditional techniques and materials are preferred for the *conservation* of significant *fabric*. In some circumstances modern techniques and materials which offer substantial conservation benefits may be appropriate.

## Article 5. Values

- 5.1 *Conservation* of a *place* should identify and take into consideration all aspects of cultural and natural significance without unwarranted emphasis on any one value at the expense of others.
- 5.2 Relative degrees of *cultural significance* may lead to different *conservation* actions at a place.

## Article 6. Burra Charter Process

- 6.1 The *cultural significance* of a *place* and other issues affecting its future are best understood by a sequence of collecting and analysing information before making decisions. Understanding cultural significance comes first, then development of policy and finally management of the place in accordance with the policy. This is the Burra Charter Process.
- 6.2 Policy for managing a *place* must be based on an understanding of its *cultural significance*.
- 6.3 Policy development should also include consideration of other factors affecting the future of a *place* such as the owner's needs, resources, external constraints and its physical condition.
- 6.4 In developing an effective policy, different ways to retain *cultural significance* and address other factors may need to be explored.
- 6.5 Changes in circumstances, or new information or perspectives, may require reiteration of part or all of the Burra Charter Process.

## Article 7. Use

- 7.1 Where the *use* of a *place* is of *cultural significance* it should be retained.
- 7.2 A *place* should have a *compatible use*.

## Explanatory Notes

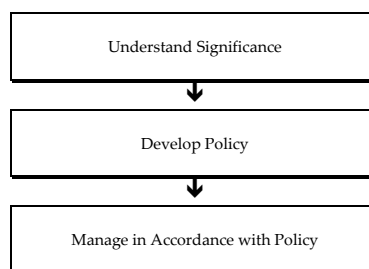
The use of modern materials and techniques must be supported by firm scientific evidence or by a body of experience.

Conservation of places with natural significance is explained in the Australian Natural Heritage Charter. This Charter defines natural significance to mean the importance of ecosystems, biodiversity and geodiversity for their existence value or for present or future generations, in terms of their scientific, social, aesthetic and life-support value.

In some cultures, natural and cultural values are indivisible.

A cautious approach is needed, as understanding of cultural significance may change. This article should not be used to justify actions which do not retain cultural significance.

The Burra Charter Process, or sequence of investigations, decisions and actions, is illustrated below and in more detail in the accompanying flow chart which forms part of the Charter.



Options considered may include a range of uses and changes (e.g. adaptation) to a place.

The policy should identify a use or combination of uses or constraints on uses that retain the cultural significance of the place. New use of a place should involve minimal change to significant fabric and use; should respect associations and meanings; and where appropriate should provide for continuation of activities and practices which contribute to the cultural significance of the place.

## Articles

### Article 8. Setting

*Conservation* requires the retention of an appropriate *setting*. This includes retention of the visual and sensory setting, as well as the retention of spiritual and other cultural relationships that contribute to the *cultural significance* of the *place*.

New construction, demolition, intrusions or other changes which would adversely affect the setting or relationships are not appropriate.

### Article 9. Location

- 9.1 The physical location of a *place* is part of its *cultural significance*. A building, work or other element of a place should remain in its historical location. Relocation is generally unacceptable unless this is the sole practical means of ensuring its survival.
- 9.2 Some buildings, works or other elements of *places* were designed to be readily removable or already have a history of relocation. Provided such buildings, works or other elements do not have significant links with their present location, removal may be appropriate.
- 9.3 If any building, work or other element is moved, it should be moved to an appropriate location and given an appropriate *use*. Such action should not be to the detriment of any *place* of *cultural significance*.

### Article 10. Contents

Contents, fixtures and objects which contribute to the *cultural significance* of a *place* should be retained at that place. Their removal is unacceptable unless it is: the sole means of ensuring their security and *preservation*; on a temporary basis for treatment or exhibition; for cultural reasons; for health and safety; or to protect the place. Such contents, fixtures and objects should be returned where circumstances permit and it is culturally appropriate.

### Article 11. Related places and objects

The contribution which *related places* and *related objects* make to the *cultural significance* of the *place* should be retained.

### Article 12. Participation

*Conservation*, *interpretation* and management of a *place* should provide for the participation of people for whom the place has significant *associations* and *meanings*, or who have social, spiritual or other cultural responsibilities for the place.

### Article 13. Co-existence of cultural values

Co-existence of cultural values should always be recognised, respected and encouraged. This is especially important in cases where they conflict.

## Explanatory Notes

Setting is explained in Article 1.12.

For example, the repatriation (returning) of an object or element to a place may be important to Indigenous cultures, and may be essential to the retention of its cultural significance.

Article 28 covers the circumstances where significant fabric might be disturbed, for example, during archaeological excavation.

Article 33 deals with significant fabric that has been removed from a place.

For some places, conflicting cultural values may affect policy development and management decisions. In Article 13, the term cultural values refers to those beliefs which are important to a cultural group, including but not limited to political, religious, spiritual and moral beliefs. This is broader than values associated with cultural significance.

# Conservation Processes

## Article 14. Conservation processes

*Conservation* may, according to circumstance, include the processes of: retention or reintroduction of a *use*; retention of *associations* and *meanings*; *maintenance*, *preservation*, *restoration*, *reconstruction*, *adaptation* and *interpretation*; and will commonly include a combination of more than one of these. Conservation may also include retention of the contribution that *related places* and *related objects* make to the *cultural significance* of a *place*.

## Article 15. Change

15.1 Change may be necessary to retain *cultural significance*, but is undesirable where it reduces cultural significance. The amount of change to a *place* and its *use* should be guided by the *cultural significance* of the place and its appropriate *interpretation*.

15.2 Changes which reduce *cultural significance* should be reversible, and be reversed when circumstances permit.

15.3 Demolition of significant *fabric* of a *place* is generally not acceptable. However, in some cases minor demolition may be appropriate as part of *conservation*. Removed significant fabric should be reinstated when circumstances permit.

15.4 The contributions of all aspects of *cultural significance* of a *place* should be respected. If a place includes *fabric*, *uses*, *associations* or *meanings* of different periods, or different aspects of cultural significance, emphasising or interpreting one period or aspect at the expense of another can only be justified when what is left out, removed or diminished is of slight cultural significance and that which is emphasised or interpreted is of much greater cultural significance.

## Article 16. Maintenance

*Maintenance* is fundamental to *conservation*. Maintenance should be undertaken where *fabric* is of *cultural significance* and its maintenance is necessary to retain that *cultural significance*.

## Article 17. Preservation

*Preservation* is appropriate where the existing *fabric* or its condition constitutes evidence of *cultural significance*, or where insufficient evidence is available to allow other *conservation* processes to be carried out.

Conservation normally seeks to slow deterioration unless the significance of the place dictates otherwise. There may be circumstances where no action is required to achieve conservation.

When change is being considered, including for a temporary use, a range of options should be explored to seek the option which minimises any reduction to its cultural significance.

It may be appropriate to change a place where this reflects a change in cultural meanings or practices at the place, but the significance of the place should always be respected.

Reversible changes should be considered temporary. Non-reversible change should only be used as a last resort and should not prevent future conservation action.

Maintaining a place may be important to the fulfilment of traditional laws and customs in some Indigenous communities and other cultural groups.

Preservation protects fabric without obscuring evidence of its construction and use. The process should always be applied:

- where the evidence of the fabric is of such significance that it should not be altered; or
- where insufficient investigation has been carried out to permit policy decisions to be taken in accord with Articles 26 to 28.

New work (e.g. stabilisation) may be carried out in association with preservation when its purpose is the physical protection of the fabric and when it is consistent with Article 22.

## Articles

### Article 18. Restoration and reconstruction

*Restoration and reconstruction* should reveal culturally significant aspects of the *place*.

### Article 19. Restoration

*Restoration* is appropriate only if there is sufficient evidence of an earlier state of the *fabric*.

### Article 20. Reconstruction

20.1 *Reconstruction* is appropriate only where a *place* is incomplete through damage or alteration, and only where there is sufficient evidence to reproduce an earlier state of the *fabric*. In some cases, reconstruction may also be appropriate as part of a *use* or practice that retains the *cultural significance* of the place.

20.2 *Reconstruction* should be identifiable on close inspection or through additional *interpretation*.

### Article 21. Adaptation

21.1 *Adaptation* is acceptable only where the adaptation has minimal impact on the *cultural significance* of the *place*.

21.2 *Adaptation* should involve minimal change to significant *fabric*, achieved only after considering alternatives.

### Article 22. New work

22.1 New work such as additions or other changes to the *place* may be acceptable where it respects and does not distort or obscure the *cultural significance* of the place, or detract from its *interpretation* and appreciation.

22.2 New work should be readily identifiable as such, but must respect and have minimal impact on the *cultural significance* of the *place*.

### Article 23. Retaining or reintroducing use

Retaining, modifying or reintroducing a significant *use* may be appropriate and preferred forms of *conservation*.

### Article 24. Retaining associations and meanings

24.1 Significant *associations* between people and a *place* should be respected, retained and not obscured. Opportunities for the *interpretation*, commemoration and celebration of these associations should be investigated and implemented.

24.2 Significant *meanings*, including spiritual values, of a *place* should be respected. Opportunities for the continuation or revival of these meanings should be investigated and implemented.

## Explanatory Notes

Places with social or spiritual value may warrant reconstruction, even though very little may remain (e.g. only building footings or tree stumps following fire, flood or storm). The requirement for sufficient evidence to reproduce an earlier state still applies.

Adaptation may involve additions to the place, the introduction of new services, or a new use, or changes to safeguard the place. Adaptation of a place for a new use is often referred to as 'adaptive re-use' and should be consistent with Article 7.2.

New work should respect the significance of a place through consideration of its siting, bulk, form, scale, character, colour, texture and material. Imitation should generally be avoided.

New work should be consistent with Articles 3, 5, 8, 15, 21 and 22.1.

These may require changes to significant fabric but they should be minimised. In some cases, continuing a significant use, activity or practice may involve substantial new work.

For many places associations will be linked to aspects of use, including activities and practices.

Some associations and meanings may not be apparent and will require research.



## Articles

### Article 25. Interpretation

The *cultural significance* of many *places* is not readily apparent, and should be explained by *interpretation*. Interpretation should enhance understanding and engagement, and be culturally appropriate.

## Conservation Practice

### Article 26. Applying the Burra Charter Process

26.1 Work on a *place* should be preceded by studies to understand the place which should include analysis of physical, documentary, oral and other evidence, drawing on appropriate knowledge, skills and disciplines.

26.2 Written statements of *cultural significance* and policy for the *place* should be prepared, justified and accompanied by supporting evidence. The statements of significance and policy should be incorporated into a management plan for the place.

26.3 Groups and individuals with *associations* with the *place* as well as those involved in its management should be provided with opportunities to contribute to and participate in identifying and understanding the *cultural significance* of the place. Where appropriate they should also have opportunities to participate in its *conservation* and management.

26.4 Statements of *cultural significance* and policy for the *place* should be periodically reviewed, and actions and their consequences monitored to ensure continuing appropriateness and effectiveness.

### Article 27. Managing change

27.1 The impact of proposed changes, including incremental changes, on the *cultural significance* of a *place* should be assessed with reference to the statement of significance and the policy for managing the place. It may be necessary to modify proposed changes to better retain cultural significance.

27.2 Existing *fabric*, *use*, *associations* and *meanings* should be adequately recorded before and after any changes are made to the *place*.

### Article 28. Disturbance of fabric

28.1 Disturbance of significant *fabric* for study, or to obtain evidence, should be minimised. Study of a *place* by any disturbance of the fabric, including archaeological excavation, should only be undertaken to provide data essential for decisions on the *conservation* of the place, or to obtain important evidence about to be lost or made inaccessible.

## Explanatory Notes

In some circumstances any form of interpretation may be culturally inappropriate.

The results of studies should be kept up to date, regularly reviewed and revised as necessary.

Policy should address all relevant issues, e.g. use, interpretation, management and change.

A management plan is a useful document for recording the Burra Charter Process, i.e. the steps in planning for and managing a place of cultural significance (Article 6.1 and flow chart). Such plans are often called conservation management plans and sometimes have other names.

The management plan may deal with other matters related to the management of the place.

Monitor actions taken in case there are also unintended consequences.

## Articles

28.2 Investigation of a *place* which requires disturbance of the *fabric*, apart from that necessary to make decisions, may be appropriate provided that it is consistent with the policy for the place. Such investigation should be based on important research questions which have potential to substantially add to knowledge, which cannot be answered in other ways and which minimises disturbance of significant fabric.

### Article 29. Responsibility

The organisations and individuals responsible for management and decisions should be named and specific responsibility taken for each decision.

### Article 30. Direction, supervision and implementation

Competent direction and supervision should be maintained at all stages, and any changes should be implemented by people with appropriate knowledge and skills.

### Article 31. Keeping a log

New evidence may come to light while implementing policy or a plan for a *place*. Other factors may arise and require new decisions. A log of new evidence and additional decisions should be kept.

### Article 32. Records

32.1 The records associated with the *conservation* of a *place* should be placed in a permanent archive and made publicly available, subject to requirements of security and privacy, and where this is culturally appropriate.

32.2 Records about the history of a *place* should be protected and made publicly available, subject to requirements of security and privacy, and where this is culturally appropriate.

### Article 33. Removed fabric

Significant *fabric* which has been removed from a *place* including contents, fixtures and objects, should be catalogued, and protected in accordance with its *cultural significance*.

Where possible and culturally appropriate, removed significant fabric including contents, fixtures and objects, should be kept at the place.

### Article 34. Resources

Adequate resources should be provided for *conservation*.

*Words in italics are defined in Article 1.*

## Explanatory Notes

New decisions should respect and have minimal impact on the cultural significance of the place.

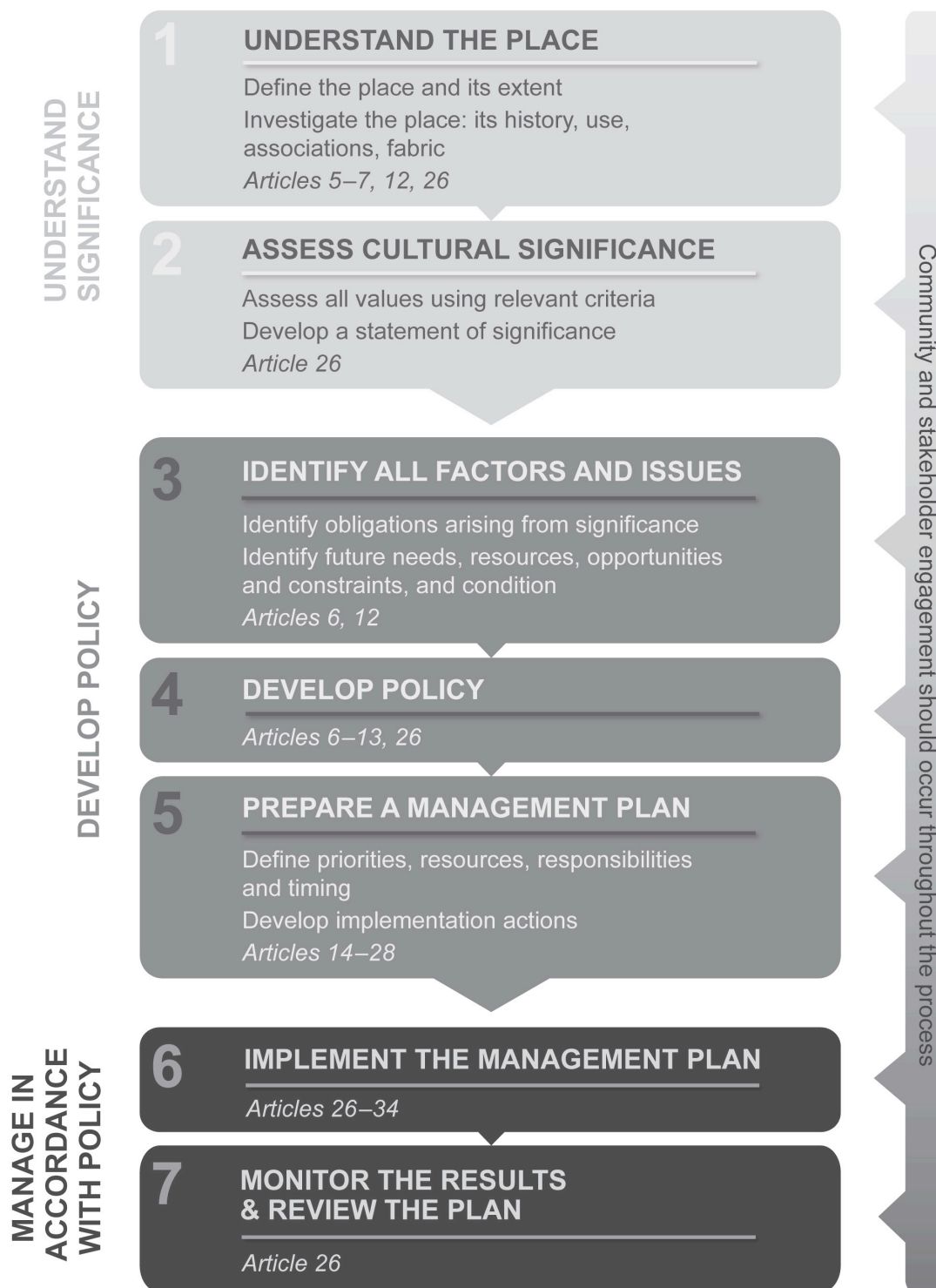
The best conservation often involves the least work and can be inexpensive.

# The Burra Charter Process

## Steps in planning for and managing a place of cultural significance

The Burra Charter should be read as a whole.

Key articles relevant to each step are shown in the boxes. Article 6 summarises the Burra Charter Process.



**Appendix B**

Statutory Listing (SHI database printout—for subject heritage item)



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# Group of Shops

## Item details

<b>Name of item:</b>	Group of Shops
<b>Type of item:</b>	Built
<b>Group/Collection:</b>	Retail and Wholesale
<b>Category:</b>	Shop
<b>Primary address:</b>	131-147 Keira Street, Wollongong, NSW 2500
<b>Local govt. area:</b>	Wollongong City

## All addresses

Street Address	Suburb/town	LGA	Parish	County	Type
131-147 Keira Street	Wollongong	Wollongong City			Primary Address

## Statement of significance:

### Shops

at 131-147 Keira Street are of significance for Wollongong for historical, aesthetic and reasons of representativeness. The item is aesthetically distinguished and locally rare example of a set of Interwar shops with Art Deco detailing, virtually intact above awning level, and a very good example of the bricklayers craft, additionally as a cohesive group of buildings related in terms of use, scale and materials. As a group, the shops make a major contribution to the streetscape, enhanced through unison with other historic buildings in the vicinity. The buildings are representative of small scale Interwar commercial buildings, a visible reminder of the 1930s aesthetics and tastes, particularly evidenced in fine elaborately patterned brickwork to façade.

**Date significance updated:** 10 Feb 15

### Note: There are

*incomplete details for a number of items listed in NSW. The Heritage Division intends to develop or upgrade statements of significance and other information for these items as resources become available.*

## Description

<b>Physical description:</b>	Shops buildings at 131-147 Keira Street are typical two-storey Interwar Art Deco shop-with-residence-above buildings with skillion roof behind a decorated brick parapet with emphasized centrally positioned motif prominent in the skyline. The walls are of face brick with interesting details in brickwork, and typical vertical geometry of the Art Deco style. Each of the three shop buildings has symmetrically positioned, double hung, rectangular windows on upper level facade and a pair of symmetrical shops on the ground level. All ground floors were modified. Simple awnings on tie rods are fitted to the front.
<b>Current use:</b>	Retail below, residential above

## History

**Historical notes:** Study

## Assessment of significance


**SHR Criteria a)** Local

[Historical significance]

**SHR Criteria c)** The item has group, architectural, aesthetic and townscape value.  
[Aesthetic significance]

**SHR Criteria g)** The item has representative value.  
[Representativeness]

**Integrity/Intactness:** The item has integrity.

**Assessment criteria:** Items are assessed against the  **State Heritage Register (SHR) Criteria** to determine the level of significance. Refer to the Listings below for the level of statutory protection.

## Recommended management:

Retain and conserve all original or early elements. Changes to ground floor shop fitouts are acceptable, but should not reduce original fabric and should not impact on views to the building and its interpretation to general public. It is acceptable to keep awnings as existing, or to replace with similar, but awning and any future signage should not be illuminated and fascias should not be overly high (ca. 300mm is max. anticipated). Any future additions should be located at the back. Original building form should remain as existing, without additions to sides or top of the building.

## Listings

Heritage Listing	Listing Title	Listing Number	Gazette Date	Gazette Number	Gazette Page
Local Environmental Plan			07 Jan 00	1/2000	69
Local Environmental Plan	Shops	6255	26 Feb 10	2010-76	

## Study details

Title	Year	Number	Author	Inspected by	Guidelines used
City of Wollongong Heritage Study	1991	B61-C	McDonald McPhee Rogers Conacher Fullarton	G. Neaves	No
Review of heritage items in Wollongong LGA	2013	6255	Zoran Popovic	Zoran Popovic	Yes

## References, internet links & images

None

Note: internet links may be to web pages, documents or images.





(Click on thumbnail for full size image and image details)

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## Data source

The information for this entry  
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**Name:** Local Government

**Database number:** 2700667

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## **Appendix C**

Photographs, GML Heritage, 2017

## 1.0 Photographs

### 1.1 The Project

GML Heritage Pty Ltd (GML) has been commissioned by Sam Hanna & Co to prepare a Conservation Management Strategy (CMS) and a preliminary Schedule of Conservation Works for 131–135 and 137–141 Keira Street, Wollongong.

The following photographs of 131–135 and 137–141 Keira Street, Wollongong, apply to both these documents and are included as Appendix C of the CMS.

### 1.2 The Site

The buildings at 131–135 and 137–141 Keira Street are included in Schedule 5 Environmental Heritage of the Wollongong Local Environmental Plan 2009 (WLEP 2009) as part of a local heritage item 131–147 Keira Street, Wollongong (item number 6255). The relationship of the heritage item to the larger development site is shown in Figure 1.2 below.



**Figure 1.1** Location of the proposed development site (red outline) and 131–135 and 137–141 Keira Street, Wollongong, outlined in red. (Source: Google Earth with GML overlay)

### 1.3 Building Identification

The following addresses are used in this CMS and photographs for identification of the shops and residences at 131–135 and 137–141 Keira Street, Wollongong:

- Suite 1, shop (131), 131–135 Keira Street;
- Suite 2, shop (133), 131–135 Keira Street;
- Suite 3, shop (135), 131–135 Keira Street;
- Suite 4 (upstairs rear), 131–135 Keira Street;
- Suite 5 (upstairs street frontage), 131–135 Keira Street;
- Unit 1, 137 Keira Street (residential unit—street frontage);
- Unit 2, 137 Keira Street (residential unit—north half of house at rear);
- Unit 3, 137 Keira Street (residential unit—south half of house at rear);
- single garage, 137 Keira Street (rear of 137–141 Keira Street);
- double garage, 137 Keira Street (rear of 131–145 Keira Street);
- shop, 139 Keira Street; and
- shop, 141 Keira Street.

This identification convention was provided by First National Wollongong, current managing agents of the properties.

### 1.4 Authorship and Methodology

The photographs were taken by GML Associate Catherine Macarthur with visuals by GML Graphics Consultant Suzy Pickles. The assistance of Nicky Meldrum, Commercial Asset Management, First National Wollongong, for facilitating access to the site is acknowledged.

The site was visited on two occasions, 7 July 2016 and 12 September 2016, and all parts of the buildings were inspected except Unit 2/137, where access was not granted.



**Figure 1.2** Building identification, 131-135 and 137-141 Keira Street, Wollongong. (Source: ADM, overlay by GML November 2016)



2.0 Photographs

131–135 Keira Street, Wollongong

Photo References: 131–135 Keira Street—External Street Front and North Side

1—Street Elevation (West)



2



3



4



5



6



6a



7



8—Side Elevation (North)



9



10



11



12

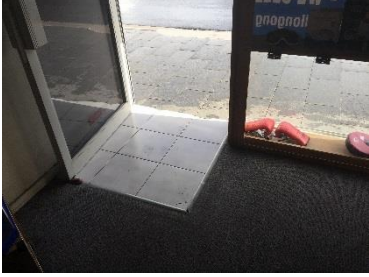


Photo References: Suite 1/131–135 Keira Street—Ground Floor, Commercial

13—Shopfront



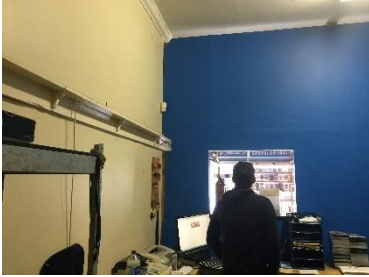
14



15—Shop Interior



16



17



18



19





Photo References: Suite 2/131–135 Keira Street—Ground Floor, Commercial

20—Shopfront



21



22—Shop Interior



23



24



25



Photo References: Suite 3/137 Keira Street—Ground Floor, Commercial

26—Door from Street



27



28



29—Shop Interior



30



31



32



33



34



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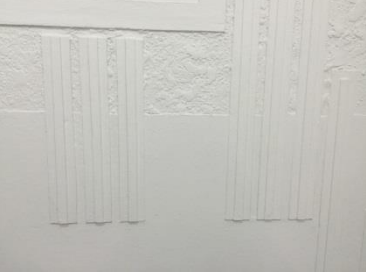




Photo References: Suite 5/131–135 Keira Street—Upper Level, Commercial/Residential

39—Shopfront



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41—Stair from Street



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43—Interior



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45—Upper Front Rooms



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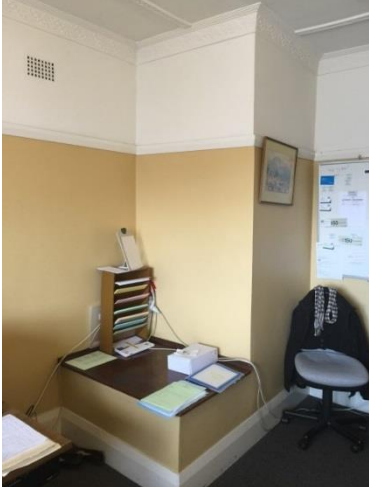
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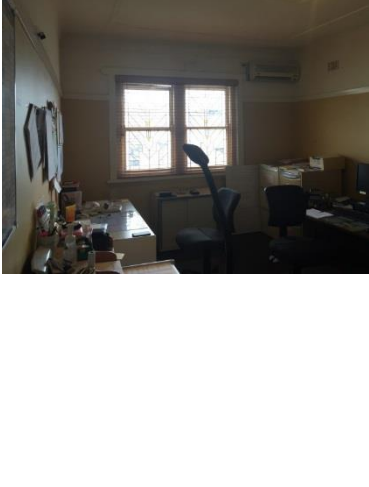
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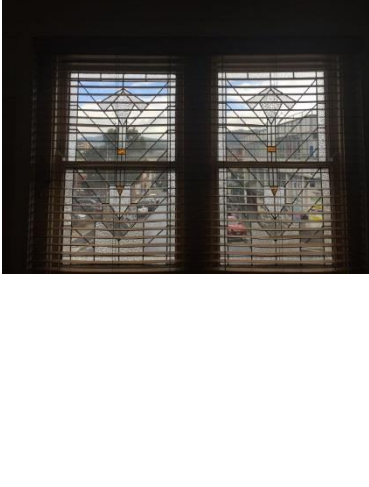
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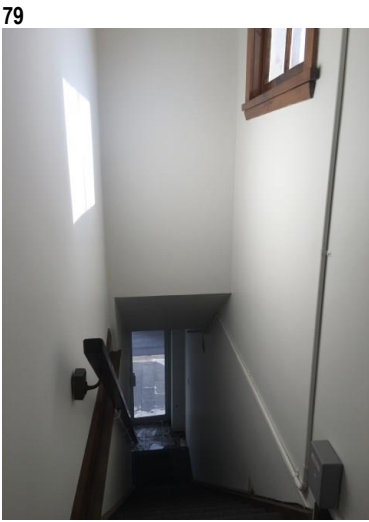
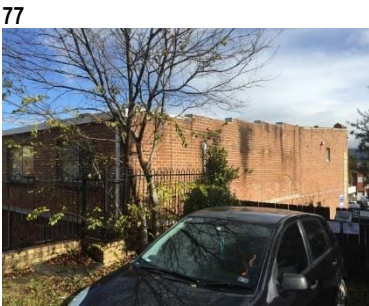




Photo References: Suite 3/131–135 Keira Street—Ground Floor (Rear), Commercial



Photo References: Suite 4/131–135 Keira Street—Upper Level (Rear), Commercial





137–141 Keira Street, Wollongong

Photo References: 137–141 Keira Street—External, Front



Photo References: 137–141 Keira Street—139, Ground Floor (Commercial Shop)



Photo References: 137–141 Keira Street—141, Ground Floor (Commercial Shop)





Photo References: 137–141 Keira Street—137, Access to Residences (Ground Floor, Rear and Upper Level)



Photo References: 137–141 Keira Street—137, Upper Floor (Residential)







Photo References: 137–141 Keira Street—137, Ground Floor, Rear, External (Residential)





Photo References: 137–141 Keira Street—137, Ground Floor Rear (Residential)

58—3/137 Keira Street



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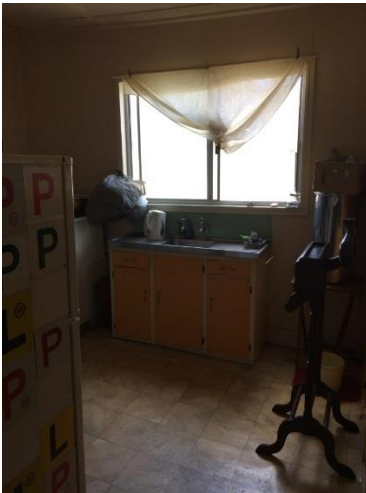
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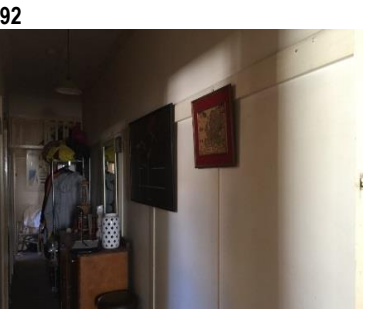
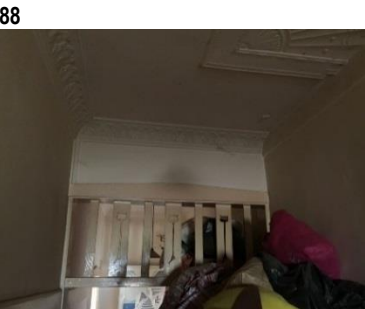
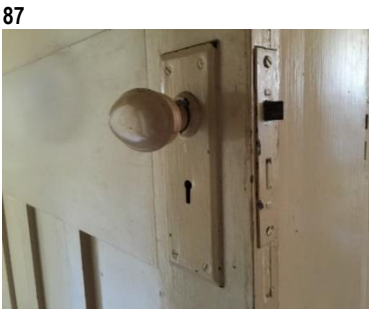
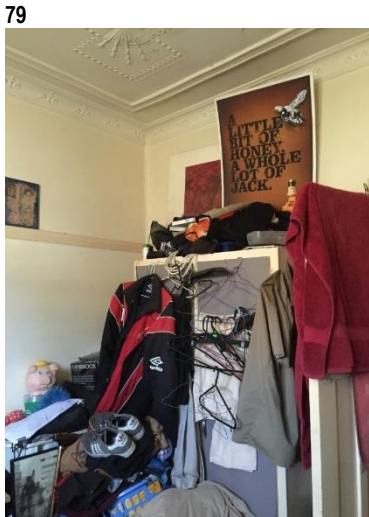
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**Appendix D**

Schedule of Conservation Works, GML Heritage, 2017

## **131–135 and 137–141 Keira Street, Wollongong**

### **Schedule of Conservation Works**

Report prepared for Sam Hanna & Co

June 2017



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## Report Register



The following report register documents the development and issue of the report entitled 131–135 and 137–141 Keira Street, Wollongong—Schedule of Conservation Works, undertaken by GML Heritage Pty Ltd in accordance with its quality management system.

Job No.	Issue No.	Notes/Description	Issue Date
16-0217C	1	Draft Report	13 December 2016
16-0217C	2	Final Report	15 June 2017

## Quality Assurance

GML Heritage Pty Ltd operates under a quality management system which has been certified as complying with the Australian/New Zealand Standard for quality management systems AS/NZS ISO 9001:2008.

The report has been reviewed and approved for issue in accordance with the GML quality assurance policy and procedures.

<b>Project Manager:</b>	Catherine Macarthur	<b>Project Director &amp; Reviewer:</b>	Sharon Veale
<b>Issue No.</b>	2	<b>Issue No.</b>	2
<b>Signature</b>		<b>Signature</b>	
<b>Position:</b>	Associate	<b>Position:</b>	CEO/Partner
<b>Date:</b>	15 June 2017	<b>Date:</b>	15 June 2017

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# 1.0 Introduction

## 1.1 Introduction

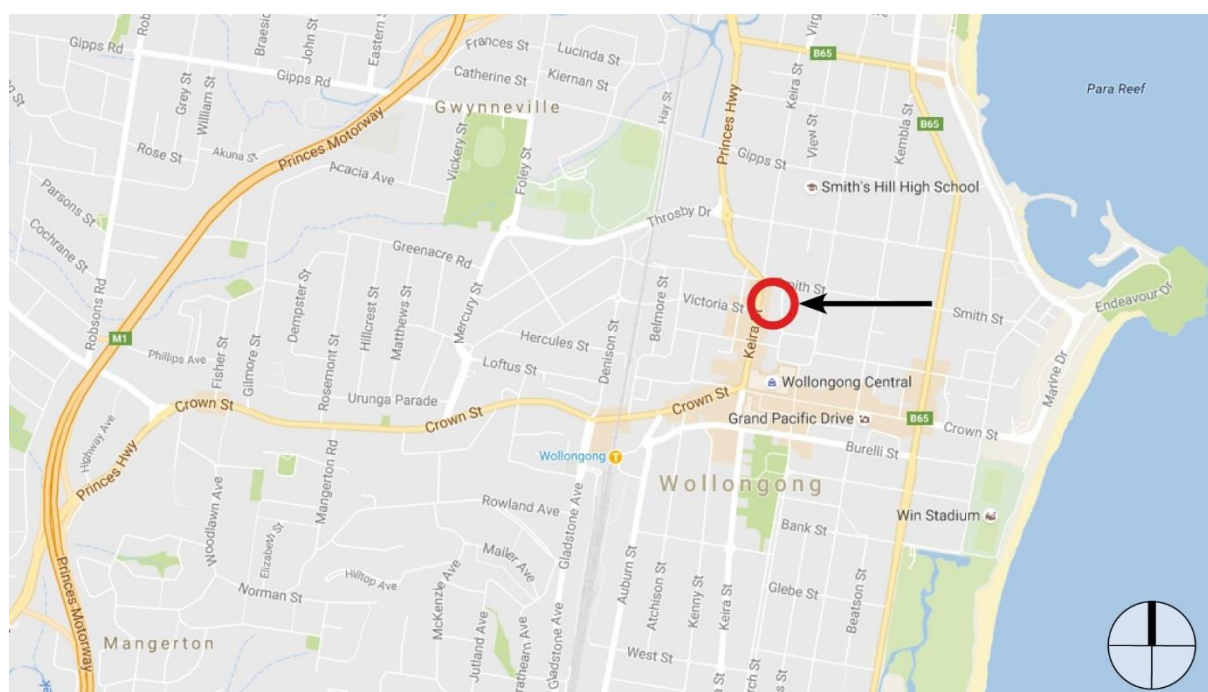
GML Heritage Pty Ltd (GML) has been commissioned by the owner Sam Hanna & Co to prepare a schedule of conservation works for 131–135 and 137–141 Keira Street, part of heritage item 131–147 Keira Street, Wollongong.

The schedule has been prepared in response to Wollongong City Council's (council) requirement to provide detail on how the heritage buildings will be 'made good' in association with the proposed development, and offer other conservation guidance. The schedules have been prepared for inclusion in the appendices of the Conservation Management Strategy (CMS) also prepared by GML.

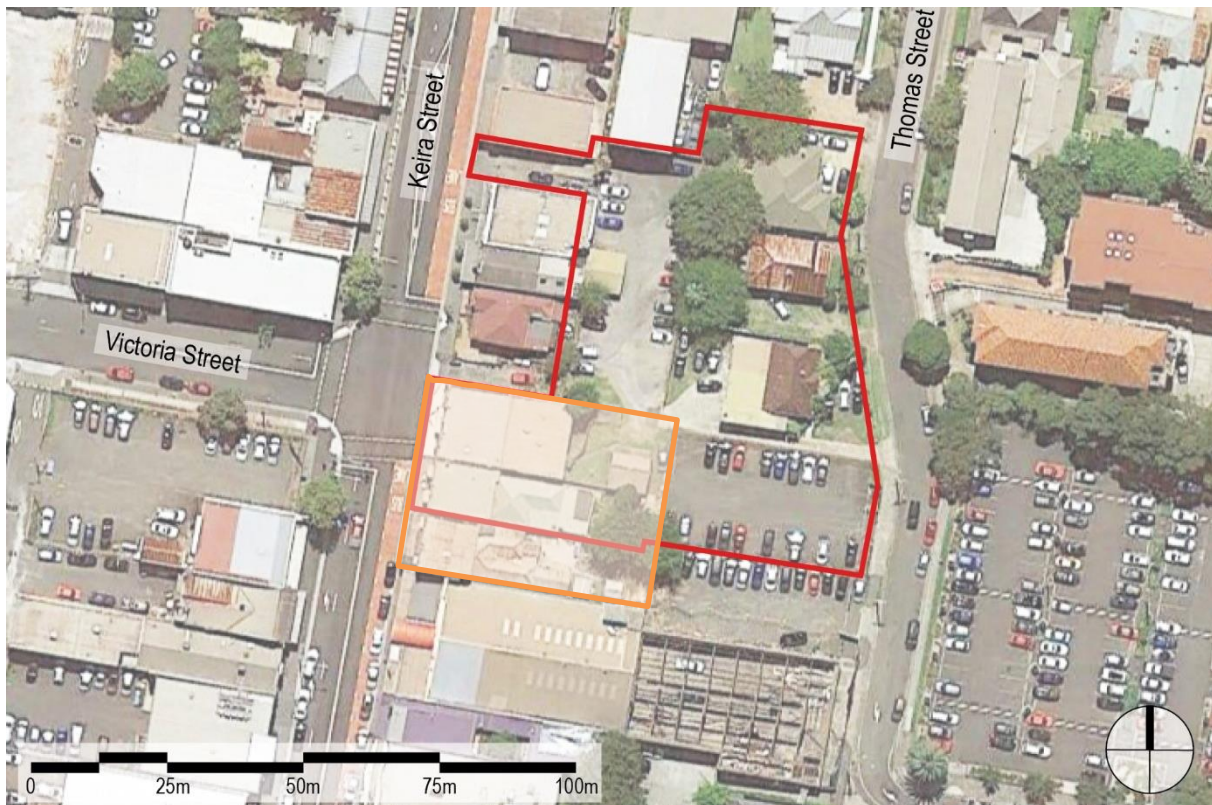
Further detail on the proposed development and council's requirements are provided in the introduction of the CMS.

The schedules have been prepared to guide appropriate care of the heritage items during the proposed development and for their ongoing management. They are intended to assist in locating the work required in the relevant part of the buildings including for the following circumstances:

- preparation of specifications for conservation work in association with the proposed development;
- preparation of strata documentation for incorporation of the heritage item within the proposed development; and
- ongoing care of the heritage item into the future.



**Figure 1.1** Plan showing location of the proposed development site. (Source: Google Maps with GML overlay)



**Figure 1.2** Location of the proposed development site (red outline) and 131–135 and 137–141 Keira Street, Wollongong (part of heritage item indicated by orange outline). (Source: Google Earth with GML overlay)

## 1.2 Background

The heritage item, 131–147 Keira Street, is a row of 1930s two-storey Inter-War commercial buildings with Art Deco detailing, which comprises three buildings: 131–135, 137–139 and 141–147 Keira Street, and includes shops on the ground floor with commercial/residential accommodation above and behind.

This report addresses part of the heritage item only: 131–135 and 137–139 Keira Street. While there have been additions to the original buildings, they are otherwise relatively intact. There are several outbuildings of various ages to the rear.

In February 2016, the owner, Sam Hanna & Co, submitted a development application (DA-2016/178) for the amalgamated site. That DA involved the retention of the listed heritage item, demolition of all other extant buildings and construction of a seven-storey commercial and residential building over two parking levels.

Prior to the withdrawal of DA-2016/178 in July 2016, Wollongong City Council advised in a letter to the applicant dated 4 May 2016 (refer to appendices) that the following additional information was required as part of any future development application:

- revised plans addressing concerns of the Design Review Panel;
- a conservation management plan (CMP) for the heritage item (proposed to be retained);
- strata arrangements and funding mechanisms to be incorporated into the future owners' corporation to identify how the proposed development will ensure the ongoing future maintenance and conservation of the heritage items located on the site;

- future use and viability of the heritage item;
- demolition plan to clarify the extent of the proposed demolition, and clarification of how the buildings will be made good; and
- a brief archaeological assessment report.

### 1.3 Proposed Development



**Figure 1.3** Site plan of proposed development at 131 Keira Street, Wollongong (red outline), with GML overlay showing location of heritage item 131–149 Keira Street (orange outline). The subject of this report, 131–135 and 137–141 Keira Street, is within the proposed development site. (Source: ADM Documentation October 2016, with GML overlay)

## 1.4 Building Identification

The following buildings/addresses exist at the property at present, and inspection and conservation/repair schedules are addressed as part of this commission:

- Suite 1, shop (131), 131–135 Keira Street;
- Suite 2, shop (133), 131–135 Keira Street;
- Suite 3, shop (135), 131–135 Keira Street;
- Suite 4 (upstairs rear—commercial unit), 131–135 Keira Street;
- Suite 5 (upstairs street frontage—commercial use of residence), 131–135 Keira Street;
- Unit 1, 137 Keira Street (residential unit—street frontage);
- Unit 2, 137 Keira Street (residential unit—north half of house at rear);
- Unit 3, 137 Keira Street (residential unit—south half of house at rear);
- single garage, 137 Keira Street (rear of 137–141 Keira Street);
- double garage, 137 Keira Street (rear of 131–145 Keira Street);
- shop, 139 Keira Street; and
- shop, 141 Keira Street.

The above property identification is as provided by managing agent, First National.

## 1.5 Historical Overview

There appears to have been three main phases of construction at the site:

- 131–135 and 137–141 Keira Street were constructed in 1935 (including the residence to the rear of 137–141); and
- an addition to the rear of 131–135 Keira Street, c1950s (ground floor c1950s)
- a further addition to the rear of 131–135 Keira Street (upper level c1980s)

It is not clear when the residence to the rear of shops 139 and 141 Keira Streets was divided into two smaller dwellings.

Further details on the history of the property is provided in the CMS.





**Figure 1.4** Building identification, 131–135 and 137–141 Keira Street, Wollongong. (Source: ADM documentation, text overlay by GML, November 2016)

## 1.6 Methodology

Site inspections were undertaken by GML to assess the condition of the buildings and determine the scope of works required.

Inspections were undertaken by the GML team (Associate Catherine Macarthur on 7 July 2016 and 12 September 2016) accompanied by managing agent First National, and all parts of the buildings were inspected except Unit 2/137, where access was not granted.

Results of the inspection are presented in schedules with accompanying plans and images to enable the element requiring conservation work to be located.

A single set of photographs are provided in a separate document, also included in the appendices of the CMS.

## 1.7 Approach to Repairs

The approach to inspection and the recommendations for works follow current best practice conservation approaches and principles based on *The Burra Charter: the Australia ICOMOS Charter for Places of Cultural Significance, 2013* (the Burra Charter).

This report provides recommendations for catch-up maintenance/conservation work to be undertaken in association with redevelopment of the consolidated site, which includes part of the site of the heritage item, 131—147 Keira Street (131—135 and 137—141 subject of this report only).

In general, the scope of works described in this report emphasises the following:

- minimum intervention, aimed at retaining and conserving significant elements, details and components of the fabric rather than replacement;
- use of compatible materials and systems;
- re-use where possible of existing or salvaged fabric (such as brick);
- compatible, tried and tested techniques for materials conservation;
- periodic inspection of roofing, rainwater and storm drainage continues, while maintaining a consistent approach to conservation that respects historical fabric and phases of work;
- optimising ongoing maintenance (for example making use of the scaffolding, specialist trades and heritage architectural supervision to ensure minor repairs and checks required for continuing maintenance are carried out) to achieve cost effective outcomes;
- execution by skilled tradespersons under the supervision of an experienced heritage architect, based on proper diagnosis and specification; and
- management during construction, including selection of specialist contractors, heritage induction, submissions, sign-off according to prepared inspection and test plan schedules, and specific direction or approval for work methods and materials, should be undertaken by a suitably qualified specialist heritage architect.

## 1.8 Limitations

Inspections were undertaken from the ground, without high level access and interiors. Roof spaces and below ground spaces were not inspected. The residence at 3/147 Keira Street (rear of shops) was not inspected as access was not provided.

Conservation recommendations of the schedules are not a full scope of works. Limited conservation recommendations are provided for the 1950s and 1980s sections of the building as these areas have been assessed to be of little or no heritage significance.

Assessment by a structural engineer may be required to assess stability and seismic risk (parapets and awning for example).

It is recommended that the shopfronts are returned to a more compatible design, and in addition to basic repairs. Documentation of a new design is not included in this report.

GML is not an architectural practice and does not provide detailed drawings or specifications for construction. This report is intended to assist with scoping and tendering of ongoing repairs only.

## 1.9 Authorship and Acknowledgements

This report has been written by GML Associate Catherine Macarthur, with visuals by GML Graphics Consultant Suzy Pickles, and reviewed by Sharon Veale, GML CEO and Partner.

Measured drawings were provided by ADM Architects; these base drawings have been edited and amended by GML and are presented in this report.

The assistance of Nicky Meldrum, Commercial Asset Management, First National Wollongong, for facilitating access to the site is acknowledged.

## 2.0 Scope of Work

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### 2.1 Scope of Works Generally

Recent inspections have indicated there will be a need for future maintenance and upgrading works to buildings. It is anticipated that this will include the decorative brick facades, the shopfronts and associated spaces, including commercial and residential properties above and behind. Overall, however, the buildings appear to be in good condition.

Some changes have compromised the heritage significance of the buildings, including the modern shopfronts to Keira Street, minor internal changes and ad hoc additions to the rear residence at 137 Keira Street. There is no evidence of any previous conservation work to the buildings, other than standard maintenance.

The scope and intent of work required for conservation works, repairs and reinstatement to 131–135 and 137–141 Keira Street is as follows:

#### *General*

- removal/dismantling of all items necessary to undertake the works and reinstatement of all reusable elements on completion;
- provision of scaffolding as specified to complete the works;
- provision of protection against the ongoing work to avoid damage to the building, contents or adjoining areas;
- provision of adequate restraint or temporary support during the works;

#### *Exterior*

- minor repairs to roof coverings and inspection, cleaning and repair/replacement of defective rainwater goods;
- repointing of masonry joints, including refixing loose or missing bricks;
- replacement of awning lining with new pressed metal lining of an appropriate Art Deco design (desirable);
- replacement of shopfronts to a new design inspired by the form and materials of the original shopfront (desirable);
- make good rear eastern end of the residence at Nos 2 and 3, 147 Keira Street, retain hipped roof form, and reinstate original form of wrap-around skillion verandah roof (required);

#### *Interior*

- upgrade of kitchens, retaining original features where possible (desirable);
- upgrade of bathrooms (as required); and
- re-establish rear verandah spaces to all residences where possible.

This report does not constitute a specification and is intended to assist with scoping and tendering of ongoing repairs only.

## **2.2 Heritage Requirements**

Work is to be undertaken with the aim of retaining and conserving significant elements, details and components rather than replacement. Where elements are to be replaced, they should match the existing unless specified otherwise (or unless approved by the heritage architect).

It is also advised that a pre-tender meeting be held on site to allow prospective contractors to familiarise themselves with the scope of work, required approach, physical condition of the buildings and constraints that may affect the works.

All detailed directions regarding methods, materials and products, as well as hold and witness points and other necessary quality measures, should be provided by an experienced heritage architect during construction.

The contractor shall confirm with the heritage architect where any doubt arises over the interpretation of this requirement.

All repair works must be carried out by subcontractors and personnel experienced and skilled in the type of work specified.

The contractor is to ensure that all workers carrying out work under any works contract have attended a mandatory heritage induction by the heritage architect before commencing work on site.



3.0 Scope of Works—Documentation

3.1 131–135 Keira Street, Wollongong, External

	Element	External General Works—131–135 Keira Street
A	Roofs and flashings	Allow to check over all roofs and roof flashing from scaffold. Allow to repair 50 per cent parapet flashing (refer to Photos 1–7). Recommend structural engineering to review stability and seismic adequacy of parapet walls to street against codes (refer to Photos 1–7).
B	Roof plumbing (all elevations)	Clean and inspect all gutters, downpipes and spreaders. Allow to rectify dings/buckling of ogee gutters. Allow to resolder defective joints (allow for repairs at all offsets and return corners on main roof and downpipe couplings). Check gutters' positions and allow to adjust or rehang gutters to reinstate adequate fall. Check over all hangers and astragals and report.
C	Stormwater	Remove storm grates and manually clean out and inspect all stormwater pits.
D	Face brick	Check all brick pointing. Allow to clean and repoint bricks of parapet, window hood, sill and vertical Art Deco detail. Use matching pointing mix/colour. Reuse existing bricks, rather than new bricks if replacement is required. Rake out loose or defective mortar to front elevation and repoint in specified lime mortar. Do not remove sound existing pointing. Locations to be determined with the heritage architect (refer to Photos 1–5).
E	Windows	Retain all windows. Repair as required using traditional materials and techniques. Infill windows to balcony can be retained or removed. If removed, the balcony should be reinstated and waterproof membrane of floor investigated/reinstated.
F1	Shopfronts	Scope Option 1: Reconstruction recommended. (Refer to Photos 1–3, 12.) Allow to remove existing shopfronts and security roller from Suite 1. New shopfront windows to traditional Art Deco design, based on physical and documentary evidence. Retime surrounds to Art Deco inspired tile, colour, layout. Determine detail selections with heritage architect.
F2	Shopfronts	Scope Option 2: Repair existing. (Refer to Photos 1–3, 12.) Allow to repair existing shopfronts (consistently across all shops) to match existing detail. Remove security roller from Suite 1. Determine detail selections with heritage architect.
G	Awning	Repair existing awning (refer to Photos 1–3, 12). Retain and repair original awning fabric, including awning suspending stays, structure and roofing/plumbing. Allow to treat corrosion of stays at point of fixing to wall and awning (check by structural engineer). Allow to replace all awning lining with Art Deco style pressed metal design. Allow to install new sign band (individual shop signage by specific shop). Provide new suspended awning signage to traditional Art Deco design. Remove signage above awning. Determine detail selections with heritage architect.
H	Services	Allow to upgrade security and lighting to shopfronts (refer to Photos 1–3, 12). Remove air-conditioning above awning. Determine detail selections with heritage architect.

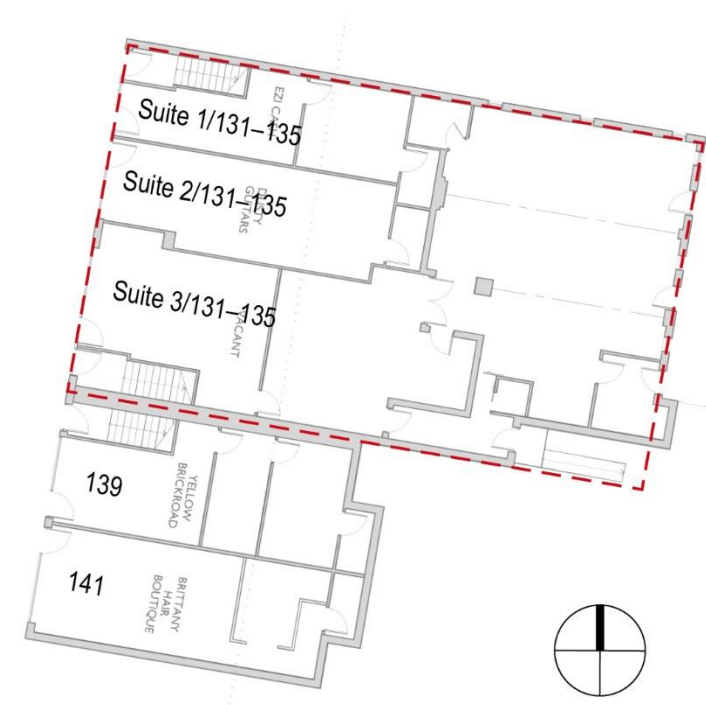


Figure 3.1 131–135 Keira Street—plan, ground. (Source: GML Heritage / ADM Architects, October 2016)



Figure 3.2 131–135 Keira Street at street level. (Source: GML Heritage / ADM Architects, October 2016)



Figure 3.3 131–135 Keira Street—west elevation. (Source: ADM Architects, October 2016)

3.2 131–135 Keira Street, Wollongong, Internal, Ground (Suites 1 and 2)

	Element	Internal General Works—Suites 1 and 2/131–135 Keira Street (Ground Floor)
A	Space generally	Space appropriate for commercial shop use. Potential to adapt to new commercial use. Modern partitions and fittings to be removed and original and significant features to be conserved as described below. (Refer to Photos 13–19 and 20–25.)
B	Floors	Remove carpet, allow to replace with new. Tiled threshold can be removed. (Timber floors, if remaining underneath, to be conserved/repared.)
C	Walls	Retain shop perimeter walls, retain all architectural features including wall vents. Remove all lightweight partition walls.
D	Ceilings and cornice	Take care to retain all profiled (plaster) ceilings and cornice, repair as required. Retain ceiling and cornice around stair over.
E	Picture rail	Take care to retain all picture rails (timber), repair as required.
F	Skirting	Take care to retain all skirting (render), repair as required.
G	Doors	Retain original panelled (solid and glazed) door.
H	Bathroom fittings	Retain hand basin where possible. (WC not inspected.)
I	Services	Remove modern light fittings. Provide new lighting as required, minimal impact on ceilings/walls. Upgrade switch box etc as required, discreet location in preference.
J	Fixture/loose furniture	Acceptable to remove all modern items, taking care not to damage surrounds.



Figure 3.4 131–135 Keira Street—Suites 1 and 2, ground. (Source: GML Heritage / ADM Architects, October 2016)

3.3 131–135 Keira Street, Wollongong, Internal, Ground (Suite 3)

	Element	Internal General Works—Suite 3/131–135 Keira Street (Ground Floor)
A	Space generally	<p>Space appropriate for commercial shop use. Potential to adapt to new commercial use. Modern partitions and fittings to be removed and original and significant features to be conserved as described below.</p> <p>Architectural form and detail of link areas between shop and rear area should be retained and conserved.</p> <p>Rear space suitable for commercial use. This rear space is of little significance.</p> <p>Comments below generally refer to the shop only. (Refer to Photos 26–38 and 72–73.)</p>
B	Floors	<p>Remove carpet, allow to replace with new. Tiled threshold can be removed.</p> <p>(Timber floors, if remaining underneath, to be conserved/repared.)</p>
C	Walls	<p>Retain shop perimeter walls, retain all architectural features including decorative dado line with texture above, other architectural detail, wall vents.</p> <p>Remove all lightweight partition walls and door to underside of stair over (make good).</p>
D	Ceilings	<p>Take care to retain all profiled (plaster) ceilings and cornice, repair as required.</p> <p>Retain ceiling and cornice around stair over.</p>
E	Picture rail	<p>Take care to retain all picture rails (timber), repair as required.</p>
F	Skirting and architrave	<p>Take care to retain all skirting (render) and architrave (render), repair as required.</p>
G	Doors and window	<p>Retain original glazed doors and window.</p>
H	Bathroom fittings	<p>Retain hand basin where possible.</p> <p>(WC not inspected.)</p>
I	Services	<p>Remove modern light fittings. Provide new lighting compatible with and to highlight significant ceilings as required.</p> <p>Upgrade switch box etc as required, discreet location in preference.</p>
J	Fixture/loose furniture	<p>Acceptable to remove all modern items, taking care not to damage surrounds.</p>

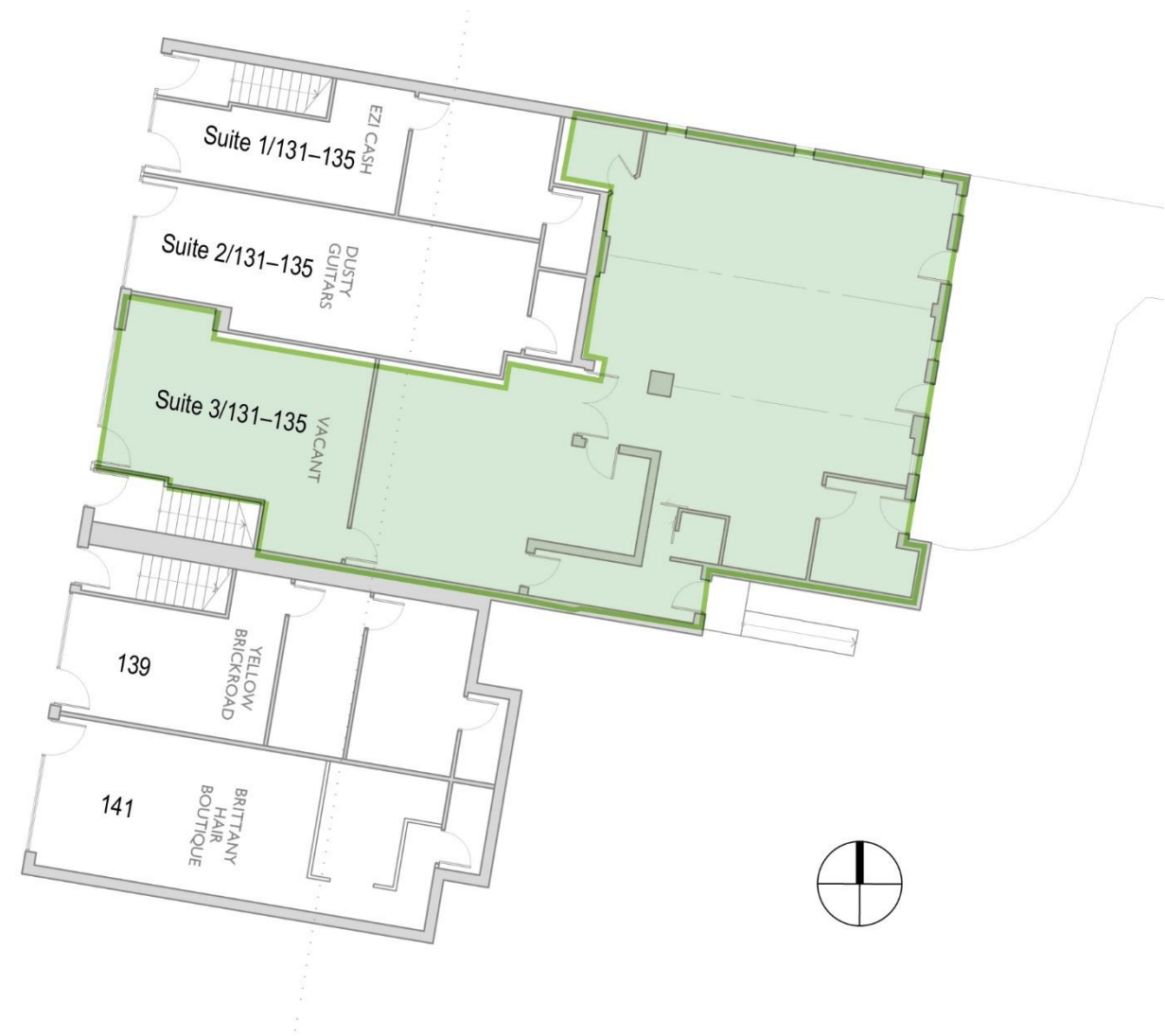


Figure 3.5 131–135 Keira Street—Suite 3, ground. (Source: GML Heritage / ADM Architects, October 2016)



3.4 131–135 Keira Street, Wollongong, Internal, First Floor (Suite 5)

	Element	Internal General Works—Suite 5/131–135 Keira Street (Upper Level)
A	Space generally	<p>Space appropriate for residential or commercial use.</p> <p>Originally designed as a residence, this apartment should be conserved in its current form with basic amenity and service upgrades only. Commercial use is not appropriate if change to layout or features is sought.</p> <p>The space should not be divided into small units or tenancies.</p> <p>(Refer to Photos 39–67.)</p>
B	Floors	<p>Timber floor substrate generally (to be conserved/repaired):</p> <ul style="list-style-type: none"><li>• remove carpet, allow to replace with new;</li><li>• lino to kitchen, allow to replace with new; and</li><li>• tiles to bathroom, allow to replace with new.</li></ul>
C	Walls	<p>Retain all walls and room configuration. Conserve all architectural features including decorative dado, other architectural detail, wall vents. Repaint.</p>
D	Ceilings/cornice	<p>Conserve all ceilings and associated architectural detail including ceiling roses (various designs).</p> <p>Take care to retain all profiled (plaster) cornices, repair as required.</p>
E	Stair	<p>Timber treads carpeted. Remove carpet and repair timber treads as required. Leave exposed or recarpet as required.</p> <p>Retain all timber detail including handrail, newel post and skirting.</p> <p>Retain all architectural features of wall and ceiling including decorative dado line with texture above, other architectural detail, wall vents.</p> <p>Do not paint elements with existing timber finish.</p>
F	Picture rail, frieze	<p>Take care to retain all picture rails (timber) and decorate frieze (timber). Retain timber as clear finish.</p> <p>Do not paint existing features with clear timber finish.</p>
G	Skirting and architraves	<p>Take care to retain all skirting (render) and architrave (render), repair as required.</p>
H	Doors	<p>Retain original glazed and timber panelled doors (including front door to street).</p> <p>Remove sliding door to kitchen.</p> <p>Do not paint elements with existing timber finish.</p>
H	Window	<p>Retain original lead light windows. Specialist contractor to repair as required.</p> <p>Retain other windows (bathroom and hall to rear verandah)—repaint only existing painted surfaces.</p> <p>Do not paint elements with existing timber finish.</p>
I	Bathroom/kitchen	<p>Bathroom fittings and fixtures can be removed. Modern bathroom design acceptable. (Refer to Photo 66.)</p> <p>Kitchen contains elements of original design. Ideally retain and conserve existing kitchen fittings. (Refer to Photos 63–65.)</p>
J	Services	<p>Modern services as required, taking care not to damage associated architectural detail.</p> <p>Retain original light fittings where feasible. Upgrade switch box etc as required, discreet location in preference.</p>
K	Fireplace	<p>Front office: retain fireplace in situ. Conserve fireplace, brick fireplace surround, timber mantle, terrazzo base and hearth. Do not paint or render. Investigate operability. (Refer to Photos 52–53.)</p> <p>Kitchen: fireplace missing. Not necessary to reinstate. (Refer to Photos 64–65.)</p>



Figure 3.6 131–135 Keira Street—Suite 5, upper level. (Source: GML Heritage / ADM Architects, October 2016)

3.5 131–135 Keira Street, Wollongong, Internal, First Floor (Suite 4)

	Element	Internal General Works—Suite 4/131–135 Keira Street (Upper Level)
A	Space generally	Space appropriate for commercial use. Potential to adapt to new commercial use. No heritage restrictions for internal alterations. (Refer to Photos 74–80.)
B	Floors	Carpet—as required.
C	Walls	Rendered masonry/internal lightweight partitions—as required.
D	Ceilings	Plasterboard—as required.
E	Doors	Modern—as required.
F	Bathroom/ kitchen	Upgrade as required.
G	Services	Upgrade as required.
H	Fixture/loose furniture	Upgrade as required.



Figure 3.7 131–135 Keira Street—Suite 4, ground. (Source: GML Heritage / ADM Architects, October 2016)

3.6 137–141 Keira Street, Wollongong, External

	Element	External General Works—137–141 Keira Street
A	Roofs and flashings	Allow to check over all roofs and roof flashing from scaffold. Allow to repair 50 per cent parapet flashing. (Refer to Photos 1–5.)  Recommend structural engineering to review stability and seismic adequacy of parapet walls to street against codes.
B	Roof plumbing (all elevations)	Clean and inspect all gutters, downpipes and spreaders. Allow to rectify dings/buckling of ogee gutters. Allow to resolder defective joints (allow for repairs at all offsets and return corners on main roof and downpipe couplings). Check gutters' positions and allow to adjust or rehang gutters to reinstate adequate fall. Check over all hangers and astragals and report.
C	Stormwater	Remove storm grates and manually clean out and inspect all stormwater pits.
D	Face brick	Check all brick pointing. Allow to clean and repoint bricks of parapet, window hood, sill and vertical Art Deco detail. Use matching pointing mix/colour. Reuse existing bricks rather than new bricks if replacement is required. Rake out loose or defective mortar to front elevation and repoint in specified lime mortar. Do not remove sound existing pointing. Locations to be determined with the heritage architect.
E	Windows	Retain all windows. Repair as required.
F1	Shopfronts	Scope Option 1: Reconstruction.  Allow to remove existing shopfronts and security roller from Suite 1.  New shopfront windows to traditional Art Deco design, based on physical and documentary evidence.  Retile surrounds to Art Deco inspired tile, colour, layout.  Determine detail selections with heritage architect.
F2	Shopfronts	Scope Option 2: Repair existing.  Allow to repair existing shopfronts (consistently across all shops) to match existing detail.  Remove security roller from Suite 1.  Determine detail selections with heritage architect.
G	Awning	Repair existing awning.  Retain and repair original awning fabric, including awning suspending stays, structure and roofing/plumbing.  Allow to treat corrosion of stays at point of fixing to wall and awning (check by structural engineer).  Allow to replace all awning lining with Art Deco style pressed metal design.  Allow to install new sign band (individual shop signage by specific shop).  Provide new suspended awning signage to traditional Art Deco design.  Remove signage above awning.  Determine detail selections with heritage architect.
H	Services	Allow to upgrade security and lighting to shopfronts.  Remove air-conditioning above awning.  Determine detail selections with heritage architect.



Figure 3.8 137–141 Keira Street—plan, ground. (Source: GML Heritage / ADM Architects, October 2016)



Figure 3.9 137–141 Keira Street at street level. (Source: GML Heritage / ADM Architects, October 2016)



Figure 3.10 137–141 Keira Street—west elevation. (Source: ADM Architects, October 2016)



3.7 137–141 Keira Street, Wollongong, Ground (139 and 141)

	Element	Internal General Works—1/137 Keira Street (Upper Level)
A	Space generally	Space appropriate for commercial shop use. Potential to adapt to new commercial use. Modern partitions and fittings to be removed and original and significant features to be conserved as described below. (Refer to Photos 6–11 of No. 139, and Photos 12–15 of No. 141.)
B	Floors	Retain timber floors. Tiled threshold can be removed.
C	Walls	Retain shop perimeter walls, retain all architectural features including wall vents. Remove all lightweight partition walls.
D	Ceilings/ cornice	Retain full ceiling to each shop, including cornice around stair over, repair as required. Retain ceiling and cornice around stair over.
E	Skirting	Take care to retain all skirting (render), repair as required.
F	Doors	Retain original panelled (solid and glazed) door.
G	Bathroom fittings	Retain hand basin where possible. (WC not inspected.)
H	Services	Remove modern light fittings. Provide new lighting as required, minimal impact on ceilings/walls. Upgrade switch box etc as required, discreet location in preference.
I	Fixture/loose furniture	Acceptable to remove all modern items, taking care not to damage surrounds.

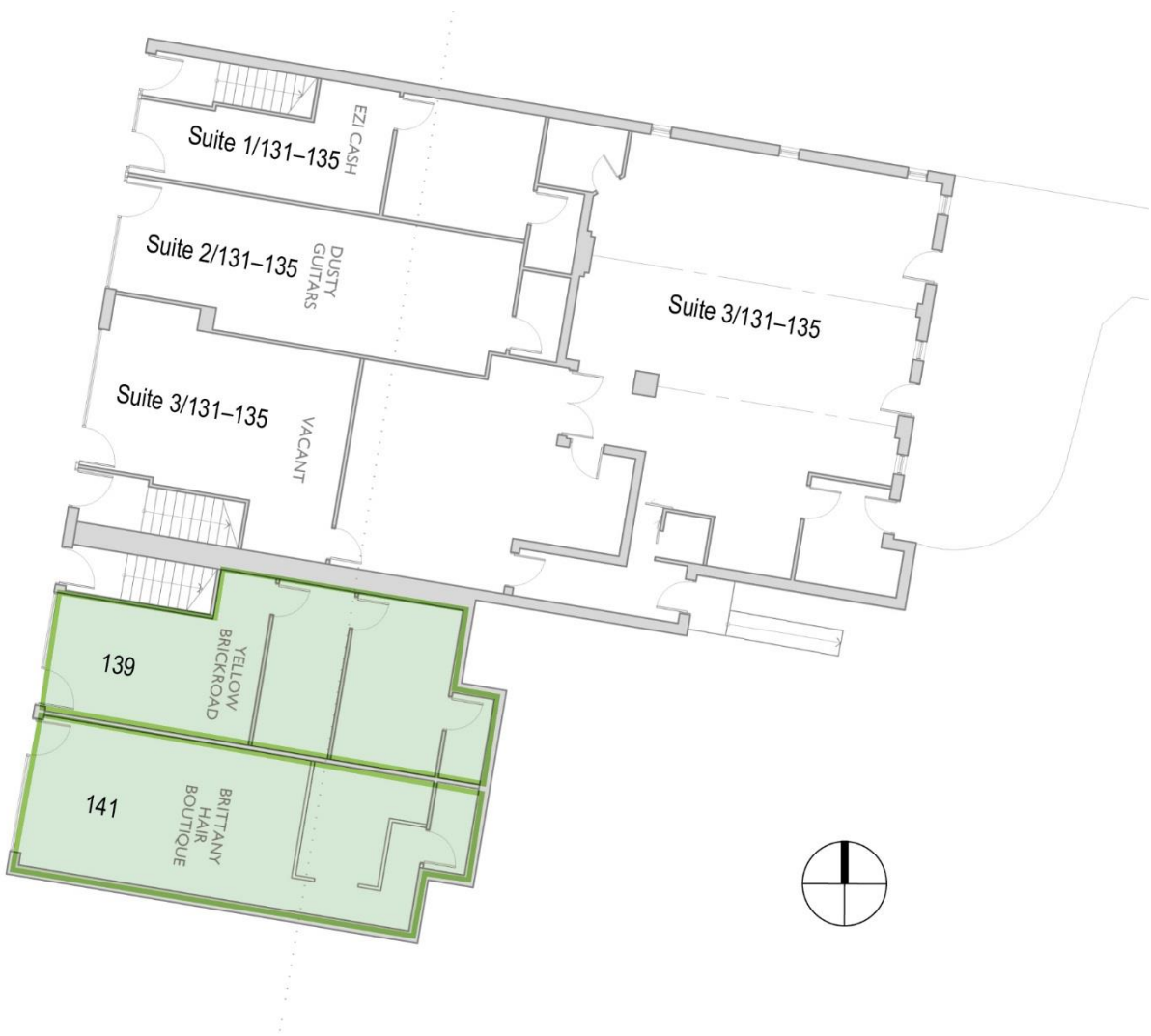


Figure 3.11 137–141 Keira Street—Unit 1, ground level. (Source: GML Heritage / ADM Architects, October 2016)

3.8 137–141 Keira Street, Wollongong, Ground (Suites 2 and 3, 137)

	Element	General Works—Suites 2 and 3/137–141 Keira Street (Upper Level)
-	External	Retain main hipped roof form—inspect and repair existing corrugated metal profile as required. Demolish rear verandah addition to original lean-to line (east edge of kitchen), and make good as below. Reinstate new lower ‘verandah’ roof form to traditional detail—wrap around south and east of building. Investigate condition of original timber boarding beneath modern cladding. Aim to reinstate timber weatherboard cladding.
A	Spaces generally	Spaces appropriate for residential or commercial use. Originally designed as a residence, this place should be conserved by returning it to its original form as a single residence. Commercial use is not appropriate if change to layout or features is sought. It is not recommended that this area is redivided into small units or tenancies. (Refer to Photos 58–92.)
B	Floors	Concrete substrate generally (to be confirmed): <ul style="list-style-type: none"><li>remove carpet, allow to replace with new;</li><li>lino to kitchen, allow to replace with new (modern finish); and</li><li>concrete to bathroom, allow to refinish (tiles?).</li></ul> Externally: Levels to rear (eastern) verandahs to be resolved, install groundwater drainage as required.
C	Walls	Return room configuration to original three-bedroom layout. Re-establish front door to side passage, and rear door to east (rear). Remove corridor wall to recreate large living room (as guided by original ceiling layout shown in red—to be confirmed). Make good generally, having regard to original joinery, ceiling layouts and roof forms.
D	Ceilings/cornice	Conserve all ceilings and associated architectural detail (note variety of decorate patterns). Take care to retain all profiled (plaster) cornices, repair as required. (Refer to Photos 79–91.)
E	Frieze	Take care to retain and repair decorate frieze (timber). (Refer to Photo 88.) Repaint as required.
F	Skirting and architraves	Take care to retain all skirting (timber) and architrave (timber), repair as required. Repaint as required.
G	Doors	Retain original glazed and timber panelled doors. Remove security screens. Repaint as required.
H	Window	Retain original lead light windows. Specialist contractor to repair as required. Retain other windows (bathroom and kitchen)—repaint only existing painted surfaces.
I	Bathroom/kitchen	Bathroom fittings and fixtures can be removed. Modern bathroom design acceptable. (Refer to Photos 63–65.) Kitchen contains elements of original design. Ideally retain and conserve existing kitchen fittings. (Refer to Photos 23–24 and 30–31.)
J	Services	Modern services as required, taking care not to damage associated architectural detail. Retain original light fittings where feasible.



Figure 3.12 137–141 Keira Street—Suites 2 and 3, rear. (Source: GML Heritage / ADM Architects, October 2016)

3.9 137–141 Keira Street, Wollongong, Ground (Suite 1, 137)

	Element	Internal General Works—1/137 Keira Street (Upper Level)
A	Space generally	Space appropriate for residential or commercial use. Originally designed as a residence, this apartment should be conserved in its current form with basic amenity and service upgrades only. Commercial use is not appropriate if change to layout or features is sought. The space should not be divided into small units or tenancies. (Refer to Photos 23–50.)
B	Floors	Timber floor substrate generally (to be conserved/repared): <ul style="list-style-type: none"><li>remove carpet, allow to replace with new;</li><li>lino to kitchen, allow to replace with new; and</li><li>tiles to bathroom, allow to replace with new.</li></ul>
C	Walls	Retain all walls and room configuration. Conserve all architectural features including wall vents. Repaint.
D	Ceilings/cornice	Conserve all ceilings and associated architectural detail including ceiling roses (various designs). Take care to retain all profiled (plaster) cornices, repair as required.
E	Stair	Timber treads carpeted. Remove carpet and repair timber treads as required. Leave exposed or recarpet as required. Retain all timber detail including handrail, newel post and skirting. Retain all architectural features of wall and ceiling including decorative dado line with texture above, other architectural detail, wall vents. Do not paint elements with existing timber finish.
F	Frieze	Take care to retain decorate frieze (timber) (refer to Photo 28). Repaint as required.
G	Skirting and architraves	Take care to retain all skirting (render) and architrave (render), repair as required. Repaint as required.
H	Doors	Retain original glazed and timber panelled doors. Repaint as required.
H	Window	Retain original lead light windows. Specialist contractor to repair as required. Retain other windows (bathroom and kitchen)—repaint only existing painted surfaces.
I	Bathroom/kitchen	Bathroom fittings and fixtures can be removed. Modern bathroom design acceptable. (Refer to Photos 63–65.) Kitchen contains elements of original design. Ideally retain and conserve existing kitchen fittings. (Refer to Photos 23–24 and 30–31.)
J	Services	Modern services as required, taking care not to damage associated architectural detail. Retain original light fittings where feasible. Upgrade switch box etc as required, discreet location in preference.
K	Fireplace	Living Room: retain fireplace in situ. Conserve fireplace, brick fireplace surround, brick hearth. Do not paint or render. Investigate operability. (Refer to Photos 44 and 49.)



Figure 3.13 137–141 Keira Street—Unit 1, upper level. (Source: GML Heritage / ADM Architects, October 2016)

## 4.0 Endnotes

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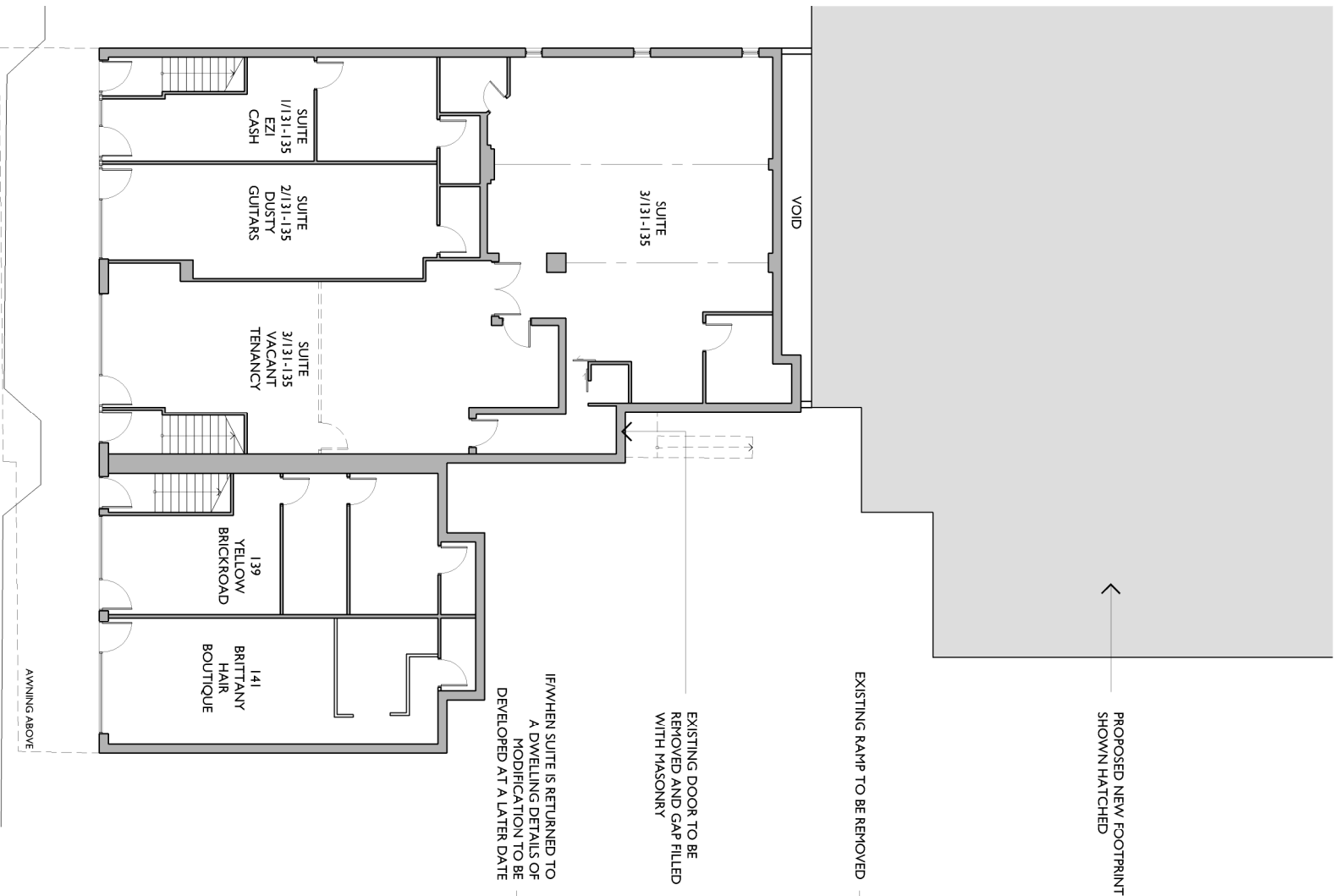
- <sup>1</sup> Woodhead Pty Ltd, Heritage and Landscape Management Plan for Victoria Barracks, Paddington NSW, updated report for Directorate of Heritage and Biodiversity Conservation (DH&BC), Department of Defence, 2008.

## **Appendix E**

Demolition Plan, ADM Architects



PART PLAN PROPOSED NEW BUILDING.  
REFER TO SHEET A11 FOR DETAILED PLAN.



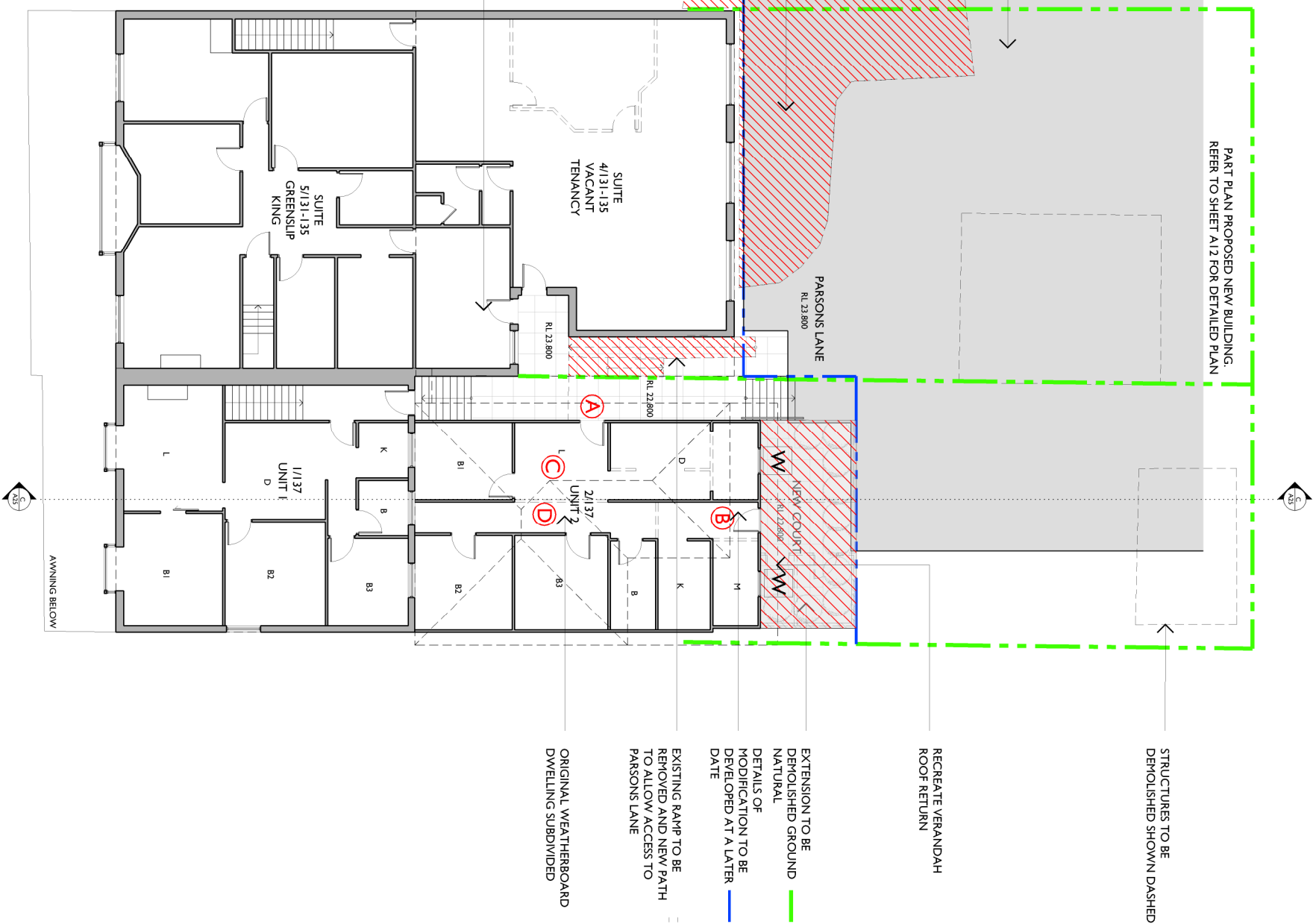
KEIRA STREET

## GROUND FLOOR PLAN SKETCH



NOTE:  
REFER TO GML SCHEDULE OF CONSERVATION WORKS

PART PLAN PROPOSED NEW BUILDING.  
REFER TO SHEET A12 FOR DETAILED PLAN.



## FIRST FLOOR PLAN SKETCH

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ISSUE	DATE	DESCRIPTION
A	30.03.2017	ISSUED FOR DA

### NOT FOR CONSTRUCTION

### GML SCHEDULE OF CONSERVATION NOTES:

- A** FRONT DOOR
- B** REAR DOOR
- C** RETURNED TO LIVING/ENTRY
- D** DEMOLISH IF NOT ORIGINAL
- FORMER PROPERTY BOUNDARY**
- NEW PROPOSED REAR BOUNDARY**
- NON LOAD BEARING WALLS TO BE REMOVED**
- NEW WINDOW**

**adm** ARCHITECTS

94 Kembla St, Wollongong NSW 2500 PO Box 3061 Wollongong  
ph: 02 2228 6400 fax: 02 4221 6455 www.admarchitects.com.au

**Project**  
PROPOSED MIXED USE DEVELOPMENT COMPRISING OF NEW RESIDENTIAL APARTMENTS ABOVE COMMERCIAL PREMISES & BASEMENT PARKING & NEW SHOP TO KEIRA STREET & RETENTION OF EXISTING HERITAGE BUILDINGS

**At**  
LOTS 1 & 2 DP 152849, LOTS 2.3 & 4 DP 12385  
LOT 1 DP 510890, LOT B DP 345880  
LOT C DP 65920  
KEIRA AND THOMAS STREET,  
WOLLONGONG

**For**  
**SAM HANNA & CO**

Title			
DEVELOPMENT APPLICATION HERITAGE PLANS - GROUND & FIRST FLOOR			
Scale		Date	
1:100 @ A1		MARCH 2017	
1:200 @ A3			
Drawn		Checked	
LGD SJ		ADM	
ProjectNo.		Drawing No.	
2015-12A		A26	
		Issue	
		A	

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**Appendix F**

Interim Heritage Advice, GML Heritage, (1 September 2016)



## Appendix F—Interim Conservation Advice

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### 1.1 Conservation Recommendations (1 September 2016)

#### 1.1.1 The Burra Charter

In Australia, the *Australia ICOMOS Burra Charter 2013* (Burra Charter) and *Practice Notes* (Practice Notes) is the main reference document that provides guidance for the conservation and management of places of cultural heritage significance.

The Burra Charter can be downloaded at <<http://australia.icomos.org/publications/charters/>>

The main principles of the Burra Charter include:

- a cautious approach to change—do as much as is necessary but as little as possible;
- making use of all the skills and disciplines which can contribute to the care and study of a place;
- preferring traditional techniques and materials for the conservation of significant fabric;
- considering all aspects of cultural significance without unwarranted emphasis on any one value at the expense of others;
- considering all the factors affecting the future of a place such as the owner's needs, resources, external constraints and its physical condition; and
- policy for managing a place must be based on an understanding of its cultural significance.

#### Policy 1—The Burra Charter

The Burra Charter principles should be used for the conservation and management of places of cultural heritage significance.

### 1.2 Statement of Conservation Approach

#### 1.2.1 Preliminary Conservation Policies to Guide New Development

The general conservation approach for the heritage items 131–135 and 137–141 Keira Street in the context of the proposed new development:

- Retention and conservation of the five shop buildings and the two residences above, which have been assessed to be of Exceptional heritage significance, including their exterior fabric and form, as well as their interiors. Conservation can include all processes identified in the Burra Charter and Practice Notes.
- Conservation of the above buildings will be undertaken in accordance with sketches provided showing graded areas of significance, which provide guidance for conservation in relation to significance. Of particular note are:
  - Shop fronts, which are modern and detract from the heritage value of the property and in particular the aesthetic significance of the buildings, can be removed and replaced with new shopfronts of an appropriate and traditional design. Historic photos will form the basis for this reconstruction.

- Partition walls in the shops can be demolished. New partitions, if required, should be constructed in a reversible manner and not damage significant floors, walls and ceilings. Of particular note in the shops are the detailed ceilings, and partitions not extending the full height of the room are recommended.
  - Bathrooms and kitchens to the residence above can be upgraded to modern standards within their current spaces.
  - The original stairs to the upper levels should be retained and conserved.
  - The Keira Street brick facades and architectural features, including joinery, should be conserved.
- The rear 'additions' to the shops, outbuildings and other associated structures/fencing, are identified to be of lesser heritage significance and can be changed. The impact of change will be managed such that the significance of the shops and residences above are maintained with a high degree of integrity.
- Any demolition of buildings and structures of lesser significance on the sites of the heritage items must involve careful consideration and making good of adjoining areas, where relevant, such that they remain viable and functional with a high degree of architectural integrity.
- Remodelling of the structures at the rear of the exceptionally significant shops/residences, should be compatible and sympathetic to them.
- Retained heritage items should include interiors and roof forms, and they should not be added to vertically.
- Where new development is proposed in the vicinity of the heritage items, it should be carefully considered in regard to the curtilage identified in this report (section 3.8). Design adjacent to or near this curtilage should ensure that the heritage items remain viable and functional with a high degree of architectural integrity.
- The interface between the retained heritage items and the proposed new development should ensure landscaping and urban design considerations are resolved. Landscaping between the proposed development and resolution of this zone, and the heritage item should provide suitable space for servicing of both and take account of the change in level from Keira Street to the rear of the site.
- The shops will be used for commercial purposes, as five shops, in their current configuration. Modest openings between shops could be made to facilitate combined shops, if undertaken in a reversible manner.
- The residences above 131–135 (Suite 5) and 137–141 (Unit 1/137) are recommended for residential use, and to remain without significant alteration to the roof form and fabric. Commercial use may be acceptable, with the same requirement regarding alteration.
- The strata plan for the proposed new development should include 131–135 and 137–141 Keira Street, to ensure its ongoing viability, care and maintenance. The strata plan should include a cyclical maintenance plan.
- As part of any major development application, a schedule of conservation works for the heritage items should be prepared to ensure that they are appropriately conserved.



- If significant demolition of lesser aspects of significance on the site is proposed, an Archival Record of the property should be undertaken, and provided to Wollongong City Council.
- The site's history should be interpreted, utilising information about the history and archaeological investigations for the site. An Interpretation Plan is recommended.
- Structural engineering advice should be sought in regard to stabilisation of the parapet and for the building generally.
- Fire rating of the building should seek alternative means to meet the required standards in preference to compromising or concealing significant fabric.

The conservation policies in this Conservation Management Strategy (CMS) are intended to help guide planning, design, and installation of facilities and services so that they are carefully considered in the context of the significant elements, layout and fabric of the site. This will help to minimise potential adverse impacts and ensure heritage is appropriately conserved.

## **Appendix G**

Wollongong City Council Letter—Request for Further Information

|||||

013

ADM Architects  
PO BOX 3061  
WOLLONGONG NSW 2520

APPLICATION

DA-2016/178

Date

4 May 2016

Dear Sir/Madam

## Additional Information Required

We are currently assessing your development application for the following:

Development	Demolition of buildings and construction of a seven storey commercial and residential building over two parking levels
Location	Lot 1 DP 152849, Lot 2 DP 152849, Lot C DP 65920, Lot 1 DP 510890, Lot B DP 345880, Lot 2 DP 12385, Lot 3 DP 12385, Lot 4 DP 12385  131-135 Keira Street, WOLLONGONG NSW 2500, 137-141 Keira Street, WOLLONGONG NSW 2500, 131-135 Keira Street, WOLLONGONG NSW 2500, 115-117 Keira Street, WOLLONGONG NSW 2500, 2A Thomas Street, WOLLONGONG NSW 2500, 2 Thomas Street, WOLLONGONG NSW 2500, 4 Thomas Street, WOLLONGONG NSW 2500, 6 Thomas Street, WOLLONGONG NSW 2500

I refer to Council's letter dated 5 April 2016 detailing general matters for redesign and Council's email dated 27 April 2016 enclosing Design Review Panel notes on the project.

As noted in the email, Council's discussion of heritage matters was yet to be forwarded to you. These comments are now available and are detailed below. The proposed development has been considered in relation to the heritage impacts with consideration to Clause 5.10 of Wollongong LEP 2009 and with Chapter E11 of the Wollongong DCP 2009.

### 1. Heritage Items on Site

It is noted that the proposed development directly affects two heritage properties (131-135 Keira Street and 141 Keira Street) which make up part of Item number 6255 on the Wollongong LEP 2009, which is described as a row of inter-war art deco shops.

The proposed development involves the proposed retention of (most) of the two shop buildings fronting Keira Street and this aspect of the proposal is commended.

It is noted however that the proposal involves demolition of rear portions of these heritage items which have been identified as later additions but which are located within the defined curtilage (property boundaries) of the heritage items.

Further, it is noted that the proposed new development, which involves a substantial commercial and residential development, includes significant building construction works on the heritage listed sites.

It is also noted that the sites of the heritage items form part of the development site and that the land on which the items are located has been included in floor space ratio calculations that support the proposed development.

## 2. Heritage Items in the Vicinity

In addition to the above, the development is located immediately adjacent to, and in close vicinity to a number of heritage items which are of a single or double storey nature and when combined, present a significant historic character in various parts. These items include commercial buildings and residential buildings fronting Keira Street and Smith Street. The development site is also located in the general vicinity of St Michael's Cathedral, a State Heritage Item, and within the vicinity of the Market Street Heritage Conservation Area.

The scale and height of the proposed development is such that the proposed development will result in a substantial change to the setting of a significant number of these items, with the proposed development acting as a backdrop to significant views toward many of these items.

Given the above matters, it is considered essential that the heritage impacts of the proposed development are very carefully considered and managed during the development process.

## 3. Heritage Impact Statement

The development application is supported by a Heritage Impact Statement, prepared by Heritage 21 (Rappoport Pty Ltd.). Whilst the report provides a reasonably good summary of the relevant heritage issues that apply to the development, section 6 (Assessment of Heritage Impact) and section 7 (Recommendations) are lacking in detail, and do not offer any real analysis of the heritage impacts of the development.

The following points are noted as examples of the failure of the Heritage Impact Statement to properly address and consider the heritage impacts of the development.

- a) Section 6.1 of the report discusses the proposal in relation to Chapter E11 of the Wollongong DCP, yet only the clauses relevant to 'Development in the vicinity of a heritage item' are discussed. Given that the proposal involves an extremely large development on the site of two heritage items, including the demolition of the rear portions of these, this appears to be a significant oversight. The report provides no clarity or discussion of the future use of the heritage buildings, and no clear indication or certainty about any resulting financial model, conservation works or other positive outcomes to come out of this substantial development that will support the ongoing conservation of the heritage items.
- b) In the discussion of this section, the report claims that: *'the proposed development will not detract from the setting or the significance of the heritage items... due to the setback of at least 3.5 metres from the heritage buildings in the subject site.'* This statement demonstrates a lack of real consideration to the impacts of the proposal on the setting of the heritage items as clearly demonstrated by the Contextual Streetscape View Plans submitted with the proposal. The proposed development, by virtue of its substantial height, scale and bulk will necessarily have a significant impact on the setting of the surrounding heritage items. Given the failure of the report to acknowledge this, it is difficult to then consider whether this impact on the setting of the heritage items is justified in the circumstances of this case.
- c) Section 6.5 of the report advises that the heritage consultant was not involved in the design phase of the development. This is of concern, as there is a considerable number of heritage items in close vicinity to the site. Also, given the scale and height of the proposed development, heritage considerations should have been a core component of the design development phase of the development.

## 4. Additional Design Considerations/Comments

The two heritage listed buildings that are part of the development site have a strong art deco character with a clear symmetry and verticality in their design. There is opportunity for the proposed development to respond to aspects of the Keira Street built form in the design response. This should be given more careful consideration.

## **5. Demolition Plan and Heritage Impacts**

A detailed demolition plan has not been provided. This makes an assessment of the impacts of the demolition, and works to make the remnant heritage item good, very difficult to assess. The Heritage Impact Statement sheds little light on this issue other than to claim that the portions to be demolished are not significant. No justification of these claims is provided and no evidence of building dates of the elements to be demolished is given.

## **6. Future Use and Conservation of the Heritage Items**

The proposal does not acknowledge or consider the future use or conservation of the two heritage listed buildings proposed to remain on the site of the development. This is a significant omission. Given that the proposed development includes construction on the allotments containing the heritage items, includes the retention of the heritage items, and presumably involves incorporation of the two heritage buildings into a strata titled allotment, it is considered essential that these issues are addressed at development application stage.

Additional documentation and plans should be submitted to address the current condition of the building and to specify proposed and required conservation works. Clarification is required of how the two remaining shops will be incorporated into a future strata plan to ensure that the burden of future maintenance and upkeep of the two shops will be a shared responsibility of the new owners corporation. The proposed development should include conservation works to the two heritage items to ensure their future viability, use and conservation and to ensure that any structural/maintenance and conservation issues are not passed on as an immediate burden to any future owners corporation.

## **6. Potential Archaeology**

The proposed development involves construction of a two storey basement parking areas in part of the original Wollongong Town Plan of 1834. Given the number of surrounding heritage items, and the long history of development in the vicinity of the site, it is considered that the site has some potential to contain archaeological relics protected under the NSW Heritage Act 1977. A brief assessment of the archaeological potential of the development site is required to ensure that the obligations of the Archaeological provisions of the NSW Heritage Act 1977 are addressed in the assessment process.

## **7. Conclusions and Recommendations**

The submitted development application and the Heritage Impact Statement have failed to adequately consider the heritage impacts and the future conservation issues arising from the proposed development. It is clear that the heritage advice obtained in support of the proposal has not informed the design of the proposed development and the future of the two heritage items retained as part of the development has not been addressed in the submitted plans and documents.

The following additional information is required:

- Revised plans addressing the comments of the Design Review Panel. This redesign should also give careful regard to the impacts of the proposed new development on the setting of surrounding heritage items with the revised design being informed by sound heritage advice.

Particular consideration should be given to the bulky presentation of the development to the Keira Street (western) elevation, and opportunities to break up the 65 metre continuous length of the 25 metre high (above Keira Street) elevation.

- A Conservation Plan for the two heritage items proposed to be retained. This plan should include an assessment of the current condition of the buildings, and inform a proposed list of works to the heritage items that will ensure their ongoing conservation as part of the proposed development. The plan should also include conservation policies and guidance to inform the proposed development and to limit the potential impacts of the proposed development through the construction and post development phases.
- The strata arrangements and funding mechanisms to be incorporated into the future owners corporation should be clarified, to identify how the proposed development will ensure the ongoing



future maintenance and conservation of the two heritage items located on the site. Shared responsibility for future conservation and maintenance costs is supported.

- The future use and viability of the heritage listed buildings should be clarified as a key consideration at development application stage.
- Demolition plans should be provided to clarify the extent of proposed demolition. Photographs of structures to be demolished are required. In addition, clarification should be provided as to how the heritage buildings will be 'made good'. It must be demonstrated that they will remain viable and serviceable buildings capable of being maintained and serviced into the future.
- A brief archaeological assessment report should be provided in relation to the site to consider the potential for the site to contain archaeological relics, and to identify any legal requirements arising out of the NSW Heritage Act 1977 Archaeological provisions (Section 137-140).

The consistent message in Council's correspondence is that the project requires a substantial redesign. Please advise Council how you wish to proceed, bearing in mind that the application cannot be kept open indefinitely. It is recommended that the application is withdrawn to enable adequate time to revisit the project.

If you have any questions please contact me directly on (02) 4227 7303 or via customer service staff on the telephone number below.

This letter is authorised by

**Anne Starr**  
Senior Development Project Officer  
Wollongong City Council  
Telephone (02) 4227 7111

**Appendix H**

Conservation Management Strategy (CMS) Forms, Part 1 and 2, NSW Heritage

# **The Conservation Management Strategy (CMS)**

## **Part 2: conservation policy and management sections**

### **1. General Statement of Conservation Approach**

*(identify a general approach to conservation of physical fabric: e.g. fabric must be reused where possible, or Continue with existing approaches to fabric maintenance).*

### **2. Owner's or steward's requirements**

*(e.g owner wishes to remain living in the item and maintain it as a private residence, with limited public access on one day during Heritage Week in each year)*

### **3. What are the items/fabric that must be conserved?**

*(e.g. all of the original external 1925 weatherboard walls, door and window surrounds, brick chimneys and fireplaces, the fibro sleepout on the south verandah, Jacaranda trees in front yard, route of driveway around to the back door, the old shed and the rubbish tip – all shown on Plan A).*

### **4. What are the items/fabric that can be altered?**

*(e.g. the recent steel roofing, the 1950s concrete flooring on the verandahs, all recent electrical fittings, all plantings in the gardens except as noted above, the new shed and the chicken run, and the fibro sleepout on the west verandah – all shown in plan A; areas where new development can occur are shown in plan C)*

### **5. What are the exemptions from the Heritage Act?**

*(e.g. exempt from section 57(1) subsections as indicated:*

*[a] – demolition – any work under Policy 4*

*[b] – damage or despoil – no exemption*

*[c] – move relics or objects – any work under policy 6 after consultation with the local Heritage Adviser*

*[d] – excavate for relics – any work under policy 6 after consultation with the local Heritage Adviser*

*[e] – new development – any work under policies 4 and 9 and plan C, and under policies 3 and 6 after consultation with the local Heritage Adviser*

*[f] – alterations – as for [e]*

*[g] – signs – any work after consultation with local Heritage Adviser*

*[h] – trees and vegetation – any work after consultation with local Heritage Adviser and, any other conservation work specified in these policies)*

### **6. What to do with archaeological material?**

*(e.g. discuss with Heritage Adviser before excavating in any of the areas with potential, as shown on plan B)*

### **7. What are the gaps in existing knowledge about the item?**

*(e.g. don't know what the original roofing was, don't know exact location of old mud brick house, although general location is shown on plan B, don't know if this was the farm where Ben Hall hid in 1861, as rumoured))*

**8. Who should receive copies of this document?**

*(e.g. one copy with owner, one with Heritage Adviser, one with Heritage Office library – confidential appendix ‘Y’ with owner and local land council only, ‘Z’ with owner and owner’s insurer only – see policy 11 below)*

**9. If the item is to be open to the public, what are the risks to public safety and how can they be mitigated?**

*(e.g. the timber lined well, shown on the plan, will have a cover placed over it and a wire netting and star-picket fence erected around it).*

**10. What are the item’s conservation needs and interpretation requirements?**

*(e.g. Obtain funding to mitigate dampness in lower weatherboards of southern wall of cottage.*

*Prepare a photocopied brochure about the history of the place, and obtain a Heritage Council ‘SHR’ plaque to attach to front wall next to front door.)*

**11. Are there any confidential matters to be included in an appendix?**

*(e.g. ‘Y’ the story and location of a Wiradjuri site near the old shed; and ‘Z’ the owner’s collection of local tokens and promissory notes).*

**12. Review**

*(e.g. this plan should be reviewed every five years, in consultation with the local Heritage Adviser, or This plan should be replaced by a formal CMP within the next five years, subject to availability of Heritage Office funding during that period)*

**Plans attached**

*(e.g. There are three plans that form part of this document:*

*‘A’ – plan showing levels of significance for parts of the item*

*‘B’ – plan showing areas with archaeological potential*

*‘C’ – plan showing location of existing buildings and where any new development can occur, with sketches of preferred styles, dimensions and materials)*

**NOTE**

The CMS is recommended for use

- with items of local significance,
- with items of State significance for which no major changes or interventions are planned, in the short to medium term, that have the potential to materially affect the item, and
- as an interim planning document for SHR items pending the preparation of a standard conservation management plan.

A type-specific CMS can be developed for groups of similar types or categories of items – this should be done in consultation with the NSW Heritage Office. Examples might be farm outbuildings, baby health centres, street trees or water supply lines.

## **Appendix I**

Archaeological Assessment and History, GML Heritage, 2017

**Keira and Thomas Streets, Wollongong**  
**Historical Archaeological Assessment**

Report prepared for Sam Hanna & Co

June 2017



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## Report Register


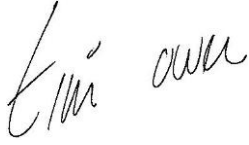
The following report register documents the development and issue of the report entitled Keira and Thomas Streets, Wollongong—Historical Archaeological Assessment, undertaken by GML Heritage Pty Ltd in accordance with its quality management system.

Job No.	Issue No.	Notes/Description	Issue Date
16-0217B	1	Draft Report	22 September 2016
16-0217C	2	Final Report	15 June 2017

## Quality Assurance

GML Heritage Pty Ltd operates under a quality management system which has been certified as complying with the Australian/New Zealand Standard for quality management systems AS/NZS ISO 9001:2008.

The report has been reviewed and approved for issue in accordance with the GML quality assurance policy and procedures.

Project Manager:	Catherine Macarthur	Project Director & Reviewer:	Tim Owen
Issue No.	2	Issue No.	2
Signature		Signature	
Position:	Associate	Position:	Senior Associate
Date:	15 June 2017	Date:	15 June 2017

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## 1.0 Introduction

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### 1.1 Project Initiation

GML Heritage (GML) Pty Ltd has been engaged by Knight Frank Town Planning to prepare an Historical Archaeological Assessment (HAA) for the Keira and Thomas Street, Wollongong site (the site or the subject site). This report evaluates the site's potential to contain historical archaeological resources and assesses its significance. The report also identifies potential development impacts on the site's archaeological resource and provides recommendations for mitigation of these impacts, where appropriate.

A separate Conservation Management Strategy has been prepared by GML to address the listed heritage items within the site.

### 1.2 Site Location

The site of the proposed development is located between Keira and Thomas Street in Wollongong. It encompasses 131–135 and 137–141 Keira Street (Lots 1 and 2 DP 152849 and Lot C DP65920), 115–117 Keira Street (Lot 7 DP 510890), 2A Thomas Street (Lot B DP 345880) and 2, 4 and 6 Thomas Street (Lots 2, 3 and 4 SP 12385) (Figure 1.1, 1.2 and 1.3). This chapter will review the history of ownership, occupation, development and land use at the site.

### 1.3 Description of the Proposed Development

The proposed development would entail demolition of the existing twentieth-century buildings with retention of the local heritage listed properties at 131–135 and 137–141 Keira Street. A new multi-storey residential and commercial building would be built occupying c70 per cent of the site and containing two basement levels.

### 1.4 Statutory Context

#### 1.4.1 Introduction

The NSW statutory heritage context for heritage items and archaeological remains (referred to as sites, objects or relics). The relevant NSW Acts are as follows:

- *Environmental Planning and Assessment Act 1979* (EPA Act);
- *Heritage Act (1977)* (Heritage Act); and
- *National Parks and Wildlife Act 1974* (NPW Act).

#### 1.4.2 Environmental Planning and Assessment Act 1979

The EPA Act provides a statutory framework for the determination of development proposals. It provides for the identification, protection and management of heritage items through inclusion in schedules to planning instruments such as Local Environmental Plans (LEPs) or Regional Environmental Plans (REPs). Heritage items in planning instruments are usually historic sites but can include Aboriginal objects and places. The EPA Act requires that appropriate measures be taken for the management of potential archaeological resources by means consistent with practices and standards adopted in meeting the requirements of the NPW Act.

### Wollongong City Council's Local Environmental Plan 2009 (WLEP 2009)

131–147 Keira Street, Wollongong (Item number 6255), is included in Schedule 5 Environmental Heritage of the WLEP 2009. The subject site includes the two northernmost properties of this group (131–135 and 137–141 Keira Street).

There are no other heritage listings within the amalgamated development site.

#### 1.4.3 Heritage Act 1977

The Heritage Act is a statutory tool designed to conserve the environmental heritage of NSW. It is used to regulate the impacts of development on the state's heritage assets. The Heritage Act defines a heritage item as 'a place, building, work, relic, moveable object or precinct'. To assist in management of the state's heritage assets, the Heritage Act distinguishes between items of local and state heritage significance, as follows:

- **Local heritage significance**—in relation to a place, building, work, relic, movable object or precinct, means significance to an 'area' in relation to the historical, scientific, cultural, social, archaeological, architectural, natural or aesthetic value of the item.
- **State heritage significance**—in relation to a place, building, work, relic, movable object or precinct, means significance to the 'state' in relation to the historical, scientific, cultural, social, archaeological, architectural, natural or aesthetic value of the item.

For archaeology, the Heritage Act defines a relic as any deposit, object or material evidence that:

- (a) *relates to the settlement of the area that comprises New South Wales, not being Aboriginal settlement; and*
- (b) *is of State or Local heritage significance.*

Archaeological features and deposits are afforded statutory protection by the relics provision of the Heritage Act (as amended in 1999).

Section 139(1) of the Heritage Act states that:

- (a) *A person must not disturb or excavate any land knowing or having reasonable cause to suspect that the disturbance or excavation will or is likely to result in a relic being discovered, exposed, moved, damaged or destroyed unless the disturbance or excavation is carried out in accordance with an excavation permit.*

Excavation permits may be issued under Section 141 of the Heritage Act by the Heritage Council of NSW (or by the Heritage Division, Office of Environment and Heritage [OEH], Department of Premier and Cabinet, under delegation).

### 1.5 Project Aims

The aims of this historical archaeological assessment are to:

- investigate readily available historical research to understand the site's development history;
- identify whether the study area has historical archaeological potential;
- prepare an assessment of the significance of potential historical archaeological resources that have been identified;

- identify recommended measures for the management of any potential historical archaeological resources; and
- prepare a stand-alone report suitable for submission to relevant statutory authorities (including Wollongong City Council, the Heritage Division, and OEH).

## 1.6 Limitations

This report assesses the potential historical archaeological resources of the site only and does not include an assessment of potential Aboriginal heritage sites or values.

No physical archaeological investigation of the site has been undertaken as part of this study.

No geotechnical information has been considered as part of this study.

## 1.7 Methodology and Terminology

This report has been prepared in accordance with the following documents and best practice guidelines:

- NSW Heritage Manual, *Archaeological Assessments* (NSW Heritage Office 1996);<sup>1</sup>
- *Assessing Significance for Historical Archaeological Sites and Relics* (NSW Heritage Branch 2009);<sup>2</sup> and
- *The Australia ICOMOS Burra Charter, 2013* (the Burra Charter).<sup>3</sup>

## 1.8 Author Identification

This report has been prepared by Sophie Jennings (Consultant). The report has been peer reviewed by Dr Madeline Shanahan (Archaeology Manager).



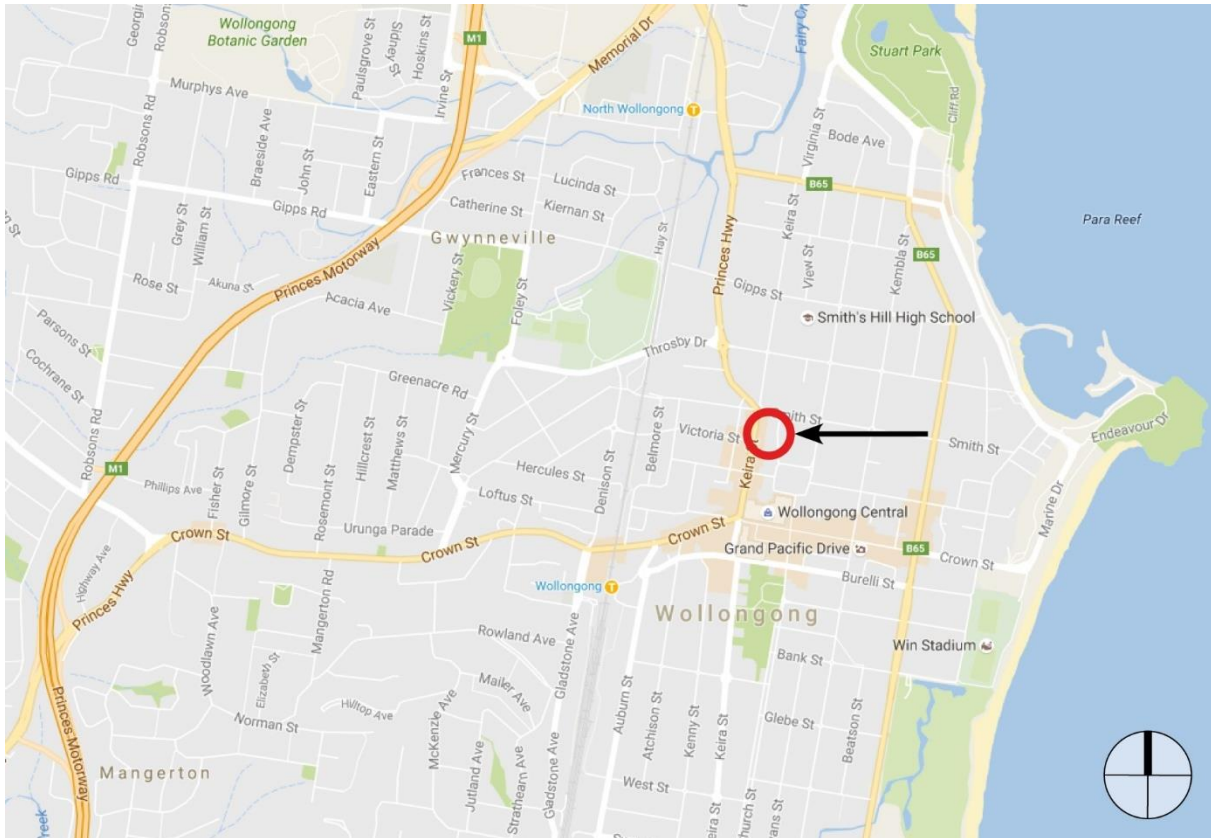


Figure 1.1 Location of the subject site within Wollongong. (Source: Google Earth with GML overlay, 2016)



Figure 1.2 Detailed location of the subject site on the eastern side of Keira Street. (Source: Google Earth with GML overlay, 2016)

## 1.9 Endnotes

- <sup>1</sup> Heritage Office and Department of Urban Affairs & Planning 1996, *NSW Heritage Manual*, Department of Urban Affairs and Planning, Sydney.
- <sup>2</sup> Heritage Branch, December 2009, *Assessing Significance for Historical Archaeological Sites and 'Relics'*, Heritage Branch of the Department of Planning, Sydney.
- <sup>3</sup> Australia ICOMOS Inc, *The Burra Charter: the Australia ICOMOS Charter for Places of Cultural Significance* 2013, Australia ICOMOS Inc, Burwood, VIC.

## 2.0 Historical Background

---

### 2.1 Introduction

The following history provides a background for the archaeological analysis of the subject site, and is based on primary and secondary sources referenced throughout.

### 2.2 Early Wollongong

At the time of European settlement, the area which came to be named Wollongong was the territory of the Wodi Wodi people, who were a part of the broader Dharawal language group.<sup>1</sup>

In 1815 Dr Charles Throsby travelled to the Wollongong area from the west, with the help of two Aboriginal guides, in search of good pasture and fresh water for his cattle. He built a stockyard and hut near the corner of today's Harbour and Smith Streets.<sup>2</sup> Throsby was not the first European to visit the area, but he was the first to establish a settlement there,<sup>3</sup> and was soon followed by others looking for good grazing land and water.<sup>4</sup>

Dr Charles Throsby's nephew, Charles Throsby Smith, had been living on his uncle's farm previously, and was officially given a grant of 300 acres on 20 December 1835. His grant encompassed the land originally occupied by his uncle, and he invested heavily in the property.<sup>5</sup> The property was named Bustle Farm, and it included the area upon which the town of Wollongong and the site of the proposed development is located.<sup>6</sup> Today, Charles Throsby Smith is sometimes remembered as the 'father of Wollongong'. He played an important role in the development of the new town, actively promoted business and industrial opportunities for the area, and held a number of public offices, including the position of Mayor.

A number of key moments throughout the nineteenth century demonstrate that the settlement was in increasing significance. The first of these occurred with the establishment of a garrison on 10 July 1826.<sup>7</sup> On 26 November 1834 the town of Wollongong was pegged and gazetted by the Surveyor-General, Major Thomas Mitchell. The area between Smith and Crown Streets on the north and south, and Keira and Harbour Streets on the east and west, was chosen as the site of the new town centre (Figure 1.2).<sup>8</sup> In 1834 the Illawarra District Council was inaugurated. It administered the land along the coast from Bulli in the north, to Nowra to in the south, and inland to Kangaroo Valley in the west. In 1859 the Municipality of Wollongong was proclaimed, making it one of the first two municipalities in New South Wales.<sup>9</sup> Despite these significant milestones, the town remained small in the mid-nineteenth century. GC Mundy estimated that in 1849 the town had 120 houses and a population of 500 to 600. In 1855 it consisted of a single main street with scattered development on side streets.<sup>10</sup>

Prior to the completion of the railway line the port of Wollongong was important as the main means of transport in and out of the Illawarra. Even before the Wollongong Harbour was completed in c1848, a steam ship regularly ran between Sydney and Wollongong, as the overland route between the towns was rugged.<sup>11</sup> When the railway opened in 1887 the town spread westward, but the port remained an important focus for the town and its trade.<sup>12</sup> Dairying had been one of the area's original industries, but agriculture more broadly, as well as fishing, timber, coal and, later, manufacturing, all had an important place in the nineteenth-century economic development of the town.<sup>13</sup>

On 11 September 1942 Wollongong was proclaimed a city. In 1947 the City of Greater Wollongong was formed, encompassing the Shires of Bulli and Central Illawarra and the Municipality of North Illawarra. In 1970 the City of Greater Wollongong was renamed the City of Wollongong.<sup>14</sup>

## 2.3 History of Keira Street and the Surrounding Area

The site of the proposed development was located in the northwest section of Charles Throsby Smith's Bustle Farm. In the 1820s he noted in his diary that he had cleared his property 'in defiance of the blacks, who at times were disposed to be very troublesome.'<sup>15</sup> This quote gives us an impression of the landscape surrounding the site of the proposed development. It tells us that the area was cleared extensively in the 1820s and had been converted to farm land, but also that it was still very much on the colonial frontier.

Keira, Smith and Market Streets were all laid out when Sir Thomas Mitchell surveyed the town in 1834. They formed the northwestern edge of the town plan. The historic plan dating to 1838 demonstrates the layout of the town shortly after it was surveyed (Figure 2.1).

A map dating to 1855–57 titled 'Town of Wollongong' shows considerably more detail than earlier examples (Figure 2.2). The centre of the town is more developed than it is on earlier maps, demonstrating its growth over the first two decades after its foundation. The development is particularly notable in the blocks surrounding the Crown Street and Corrimal Street junction. The Keira Street area shows some development at this time, but it is obviously still on the fringes of the town, and is markedly less densely settled than the town centre. The map names the occupants of houses throughout the town, but also shows cottages and garden areas. It includes major public buildings and precincts, and depicts a range of businesses such as inns, mills, a tannery, forge, schools, wells and even sheds.

The Assessor's list of rateable properties for 1871–72 noted that some of the land in Smith Street was cultivated at the time. However, parts of Bustle Farm had begun to develop along Smith Street by this period, with houses, cottages and other premises being listed.<sup>16</sup>

Following Charles Throsby Smith's death, the majority of Bustle Farm was auctioned off in 1879. The 1879 subdivision map associated with the sale is an excellent source which gives us an indication of Wollongong's growth. It shows that there was some development on the southern side of Smith Street, near the site of the proposed development. Unfortunately, the site of the proposed development itself is not located on this plan. A plan dating a year earlier, to 1878, provides us with considerably more detail about the site in question and shows that at least the southern part of Thomas Street had been laid-in by this time (Figure 2.3). Despite the fact that part of Thomas Street is depicted on the 1878 auction plans, it is not shown on late nineteenth-century parish maps.<sup>17</sup> A review of previous land title certificates indicates that the existence of a lane or thoroughfare along the alignment of Thomas Street was being disputed in 1897, and it appears likely that any public way had not yet been formalised.<sup>18</sup> This changed in the twentieth century; the full extent of Thomas Street is plotted on Wiseman's subdivision plan dating to 24 November 1923 (Figure 2.7) and the 1933 Parish map (Figure 2.8). These maps will be discussed in more detail below.

Details of late nineteenth and early twentieth-century development along Keira Street is limited. A drawing of Wollongong from 1887 shows the area in the vicinity of the subject site containing low-density development.<sup>19</sup> Two early photographs show the nature of Keira Street in the early twentieth century. The photographs do not depict the site of the proposed development, but they do show the Salvation Army Hall which was located immediately opposite, on the corner of Victoria Street and Keira

Street—both images are dated to between 1910 and 1920 (Figure 2.5 and Figure 2.6). They provide an important view of the streetscape and the nature of development in the locale and this point in time.

According to local sources, such as the *Illawarra Mercury*, Keira Street was always an important and busy hub in the town of Wollongong. Its centrality to the life of the city is demonstrated by the fact that the first gas street lamp was lit on the corner of Smith and Keira Street, not far from the site of the proposed development.<sup>20</sup> Many of the city's early churches, but also pubs, shops, butchers, confectioners, bakers, grocers and wine sellers, set up along Keira Street in the nineteenth century. Most notably, there was an Arnott's Biscuits factory on the corner of Keira and Smith streets, again not far from the site of the proposed development. Over the course of the twentieth century Keira Street continued to develop as a retail and dining centre for the city.

## 2.4 Site History

As stated above, the site of the proposed development was part of Charles Throsby Smith's Bustle Farm, and was on the northwest edge of the 1834 town plan. Very little is known about activity or development on the site in the nineteenth century. A map titled 'Plan of Ground for the proposed township of Wollongong', dating to 1833 (Figure 2.1), depicts the settlement and its most important areas, buildings and allotments. It includes C. Smith's house, the Constable's house, burial grounds and the main road. The site of the proposed development does not have anything marked on it, but it is located in an area designated as being owned by C. Smith, who had '300 acres.'<sup>21</sup>

The map dating to 1855–57 titled 'Town of Wollongong' (Figure 2.2), discussed earlier, shows considerably more detail than other plans. The block in which the proposed development is located is included on this map. A large allotment on the Smith Street and Church Street corner of the block is depicted. A house, four additional buildings, and a garden are depicted and a landowner by the name of Shoobert is listed. This is to the north of the Thomas Street properties of relevance here. No buildings are located on the site of the proposed development itself. Given that the map includes a number of houses, but also includes more secondary and ancillary details such as sheds elsewhere, it is reasonable to suggest that the absence of any detail depicted on the study area means that it had not yet been developed. If it was developed at this time, and the cartographer has chosen to omit this detail, then it is reasonable to suggest that any structures located there were not of a substantial or significant nature.<sup>22</sup>

The plan from 1878, cited earlier, gives some information about title holders at the time (**Figure 2.3**). It indicates that the southeastern portion of the site, on the Keira Street frontage, was owned by a WG Robertson. The northeast section of the site, on the Thomas Street frontage, formed part of a large allotment owned by B. Marshall. While this plan is an excellent source, demonstrating the early laying in of Thomas Street and property owners in the vicinity, unfortunately it gives no indication of the presence of buildings on the site.

An auction plan dating to 5 April 1884 possibly shows six uneven allotments along the Keira Street frontage (**Figure 2.4**). Unfortunately, as the plan was not advertising land on this block for sale, but rather auctioning land elsewhere in the town, very little other detail is included relating to Keira Street.<sup>23</sup> The second last of the allotments along the eastern side of Keira Street depicts a square structure towards the street front. The location of this roughly corresponds to 147 Keira Street, and it is probable that this structure was situated outside of the site.

In 1893, Henry Parsons bought the undertaking business on Keira Street from a William Hutson. At this stage the business was located to the south of the site of the proposed development, at 152 Keira

Street. A man by the name of Joseph Makins later recalled driving his coach as part of the mourning procession for the undertaker William Hutson of Keira Street from 1888–1893, so the business had been established for some time.<sup>24</sup> The Parsons family eventually moved to 135 Keira Street, where Henry Parsons Builders and Undertakers continued the business. The date at which they moved the business to the site is not clear, but it appears to have been before 1915, according to a plan of the site showing the location of different businesses at the time (**Figure 2.10**). They had also certainly moved to 135 Keira Street before 1933, the year in which Henry Parsons died.<sup>25</sup> An aerial photograph dated to 1920 looking towards Wollongong from the northwest is the earliest photograph of the site located during this research (Figure 2.7). Two properties located along the Keira Street frontage appear to be within the site. Based on their position opposite Victoria Street, these two properties are likely located at 131–135 and 137–141 Keira Street. Behind these two buildings is a third structure, possibly a shed or outbuilding.

Alfred (Alf) Parsons redeveloped the site in 1935, after he took over the undertaking business from his father Henry.<sup>26</sup> In 1976 Sid Hayes, of 64 Corrimal St, Wollongong, recorded Alf Parsons' memories about local businesses. Sid's letter accompanying the information states that Alf was 80 years old at the time, meaning that he was born c1896. Alf stated that the H. Parsons funeral business had been operating in Keira Street for 100 years.<sup>27</sup> Although other sources suggest that their involvement in undertaking commenced slightly later than this oral history suggests, his account confirms that the Parsons were involved in undertaking on Keira Street from the end of the nineteenth century, albeit originally on a different allotment. Alfred Parsons died in 1990, aged 93. At the time of his death the family had moved the business from Keira Street to Belmore Street.<sup>28</sup>

The existing buildings at 135–137 Keira Street (Lot DP 152849) constructed by the Parsons family in 1935 are shown in a photograph dating to 1937 depicting the Art Deco façades (Figure 2.13). The photo also shows that at least part of this building was being used as a funeral home associated with the name H. Parsons. Photographs dating to the later twentieth century show that the top storey façade of these buildings remained unchanged, but that Parsons' undertaking business was no longer in operation (Figure 2.14). The date of these photographs is unknown, but it is reasonable to conclude that they were taken after the 1970s.

As with Keira Street, information on the development history of Thomas Street is fairly limited. The aerial photograph dating to 1920 shows a building in the southeastern corner of the subject site (presently 6 Thomas Street) behind a group of trees. The image also indicates that at this time Thomas Street had not yet been established as a formal thoroughfare, although there is evidence for a laneway leading south off Smith Street to the north of the site.

Wiseman's subdivision plan for the sale of seven residential blocks, which is dated 24 November 1923 and was cited earlier, depicts the eastern half of the site (Figure 2.8). Blocks number 2, 3 and 4 on this plan, roughly correspond to 2, 4 and 6 Thomas Street today. This plan also depicts some development on the site. Block number 4 on the historic plan (now 6 Thomas Street) has two potential buildings indicated on it. The larger of these is located on the street front and is likely to be the same building as that identified on the 1920 aerial (Figure 2.7), while the smaller is located midway along the allotment, on the boundary with Block 3. This plan is also one of the earliest plans on which the full length of Thomas Street is depicted.<sup>29</sup>

The 1948 aerial photo is the first to show developments across the entirety of the site (**Figure 2.12**). On Keira Street the two Art Deco shops at 131–135 and 137–141 Keira Street are visible, each with an extension to the rear of the property. The central and northwest sections of the site remain open—



three sheds are located down the central strip of land. Along Thomas Street four single-storey residential properties have been built within the site. The Parsons family owned the house at 4 Thomas Street which remains extant in the southeast of the site. A photograph dating from c1937 shows the front façade of the property (Figure 2.11).

During the latter half of the twentieth century the site underwent limited changes. The residential building in the southeastern corner of the site at 6 Thomas Street had been demolished by 1977 as evident on an aerial photograph dated to this time (Figure 2.15). The other buildings along Thomas Street are still visible. In the southwest of the site, the rear extension to 131–135 Keira Street appears to have been replaced with a new building occupying the same approximate footprint, while to the south, the building at 137–141 Keira Street has been extended at the rear. A carpark has been established in the centre of the site and is accessed from Keira Street by a driveway in the northwest corner; the earlier sheds are still standing in the centre of the site. By 2006 the only visible changes within the site are the removal of the sheds within the central carpark, and a rear extension to the building at 4 Thomas Street. The early to mid-twentieth century buildings remain extant within the site.

## 2.5 Title History

A summary of the title history for each of the lots within the subject site is presented in Tables 2.1 to 2.6.

**Table 2.1** Lot 1 DP 152849 (131–135 Keira Street).

Date	Owner/Occupier	Reference
20 December 1835	Charles Throsby Smith—issued by Crown Grant	–
29 December 1859	Transferred from Charles Throsby Smith to Samuel Sandilands Rogers	Reg'd No. 665 Book 72
21 October 1909	Henry Parsons, Undertaker, of Wollongong	Vol. 2008 Fol. 217
27 March 1934	Alfred Reuben Parsons, Undertaker, of Wollongong	Vol. 2008 Fol. 217
24 December 1939	Alfred Reuben Parsons, Undertaker, and Dorothy Parsons, wife, of Wollongong	Vol. 4896 Fol. 143
22 June 1981	Parsons Holdings Pty Ltd	Vol. 9844 Fol. 170

**Table 2.2** Lot 2 DP 152849 (137–141 Keira Street).

Date	Owner/Occupier	Reference
20 December 1835	Charles Throsby Smith—issued by Crown Grant	
26 January 1858	Conveyance from Charles Throsby Smith to Alfred Allaston Turner	Reg'd No. 673 Book 59
29 July 1889	Conveyance: Alfred Allaston Turner (First Part) Sarah Emily Jamieson (Second Part) Arthur Mead (Third Part)	Reg'd No. 970 Book 419
<i>No further information attained during this research</i>		Vol. 3078 Fol. 731
14 April 1909	Owner: Sarah Emily Jamieson, wife of David Ross Jamieson, of Waverley Police Magistrate, married 23 April 1889; Occupier (renting): Edmund Allen, Journalist, of Wollongong—land used for grazing purposes	Vol. 2008 Fol. 218, 219
	Certificates of Title issued to:	

	Part A: Henry Matthew Parsons, Carpenter of Wollongong Part B: Arthur Williams Parsons, Hairdresser, of Wollongong	
	Grant of Right of Way.	Vol. 3580 Fol. 15
<i>No further information attained during this research</i>		

**Table 2.3** Lot B DP 345880 (2A Thomas Street).

Date	Owner/Occupier	Reference
20 December 1835	Charles Throsby Smith (issued by Crown Grant)	–
<i>No further information attained during this research</i>		Vol. 4872 Fol. 110
8 January 1942	George Stanley Capstick, of Wollongong	Vol. 5295 Fol. 139
11 April 1973	Noel Edmund Alfred Lamerton, Solicitor, and Joan Lamerton, wife, of West Wollongong	Vol. 5295 Fol. 139
2 October 1981	Joan Lamerton, of Wollongong	Vol. 5295 Fol. 139

**Table 2.4** Lot 2 DP 12385 (2 Thomas Street).

Date	Owner/Occupier	Reference
20 December 1835	Charles Throsby Smith (issued by Crown Grant)	–
15 January 1886	James Thomas Burrell to William Robson	Vol. 1334 Fol. 38
17 May 1897	Owners: William Robson of Petersham, Sydney; George Robson; and William John Wiseman of Wollongong Occupied: Mrs Robson, Widow of the late William Robson	Vol. 220 Fol. 2
21 March 1941	Jemima Wiseman, wife of Frank Osborne Wiseman, Agent, of Longueville	Vol. 5220 Fol. 18
5 March 1964	Occupiers: Carlton Frank Osborne Wiseman, Clerk, of Wollongong; and Geoffrey Kenneth Wiseman, Retired, of Longueville (joint tenants) Shep Properties Pty Ltd and Southern Estates (Wollongong) Pty Ltd 'are tenants in common'—see transfer No. J537561, 3 December 1963	Vol. 5220 Fol. 18
7 February 1969	Occupiers: Shep Properties Pty Limited and Southern Estates (Wollongong) Holdings Pty Limited 'as tenants in common in equal shares'	Vol. 5220 Fol. 18
30 September 1983	Occupiers: Shep Properties Pty Limited in half share and Kenneth David McGregor in quarter share and Phyllis Agnes Margaret McGregor in quarter share 'as tenants in common'	Vol. 15154 Fol. 189A Vol. 15154 Fol. 189B
11 April 1991	Pars Holding Pty Limited (registered proprietor)	Lot 4 DP 12385

**Table 2.5** Lot 3 DP 12385 (4 Thomas Street).

Date	Owner/Occupier	Reference
20 December 1835	Charles Throsby Smith (issued by Crown Grant)	–
–	Jemima Wiseman	Vol. 1334 Fol. 38
11 April 1924	Henry Parsons, Senior, Undertaker, of Wollongong	Vol. 3580 Fol. 15
9 April 1934	Henry Matthew Parsons, Builder, of Wollongong; Arthur William Parsons, Storekeeper, of Sydney; Alfred Reuben Parsons, Undertaker, of Wollongong	Vol. 3580 Fol. 15
18 October 1934	Archibald Samuel Parsons, Builder, and Alfred Reuben Parsons, Undertaker, both of Wollongong—Transfer of 10ft wide strip of land on southern side of plot	Vol. 3580 Fol. 15

6 March 1935	Henry Matthew Parsons, Builder, of Wollongong	Vol. 3580 Fol. 15
21 September 1938	Henry Leland Parsons, Clerk, of Wollongong	Vol. 3580 Fol. 15
15 March 1960	John Henry Parsons, Undertaker's Assistant, of Wollongong	Vol. 3580 Fol. 15

**Table 2.6** Lot 4 DP 12385 (6 Thomas Street).

Date	Owner/Occupier	Reference
<i>No information regarding the title history of this parcel of land was obtained during research for this assessment.</i>		



**Figure 2.1** Detail from Subdivision of CT Smith's land in Wollongong, dated 1838. (Source: National Library of Australia, MAP RM 4235 with GML overlay, 2016)



Figure 2.2 Detail from 'Town of Wollongong', dated 1855–57. (Source: Wollongong City Library with GML overlay, 2016)

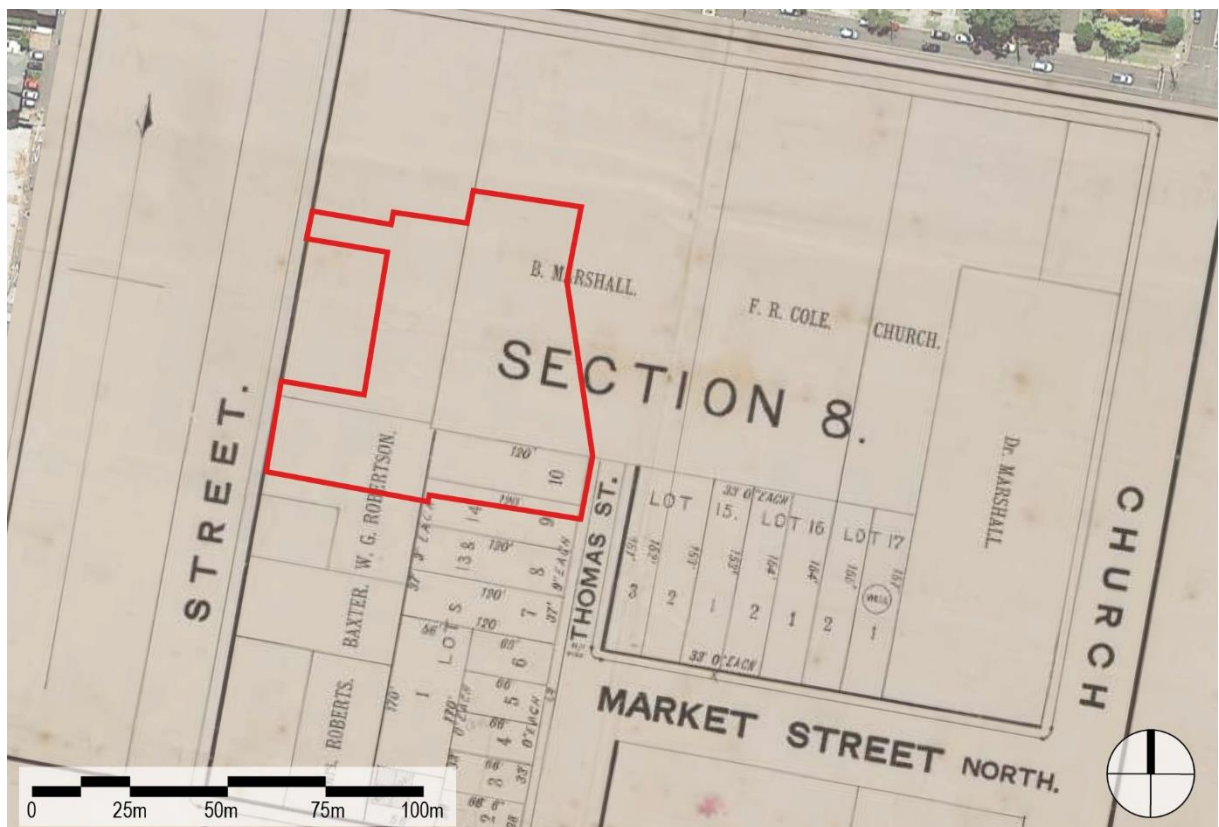


Figure 2.3 Detail from auction plan dated 1878.<sup>30</sup> (Source: National Library of Australia with GML overlay, 2016)





**Figure 2.4** Detail from auction plan dated 1884.<sup>31</sup> (Source: Wollongong City Libraries with GML overlay, 2016)



**Figure 2.5** Looking northwest at the Salvation Army Hall on corner of Keira and Victoria Streets, c1910–1920. (Source: Illawarra Images)



**Figure 2.6** Salvation Army Hall, corner Keira and Victoria Streets, c1910–1920. (Source: Illawarra Images)



**Figure 2.7** Aerial photograph taken from Flagstaff Hill by Frank Hurley, 1920. (Source: Wollongong City Library)



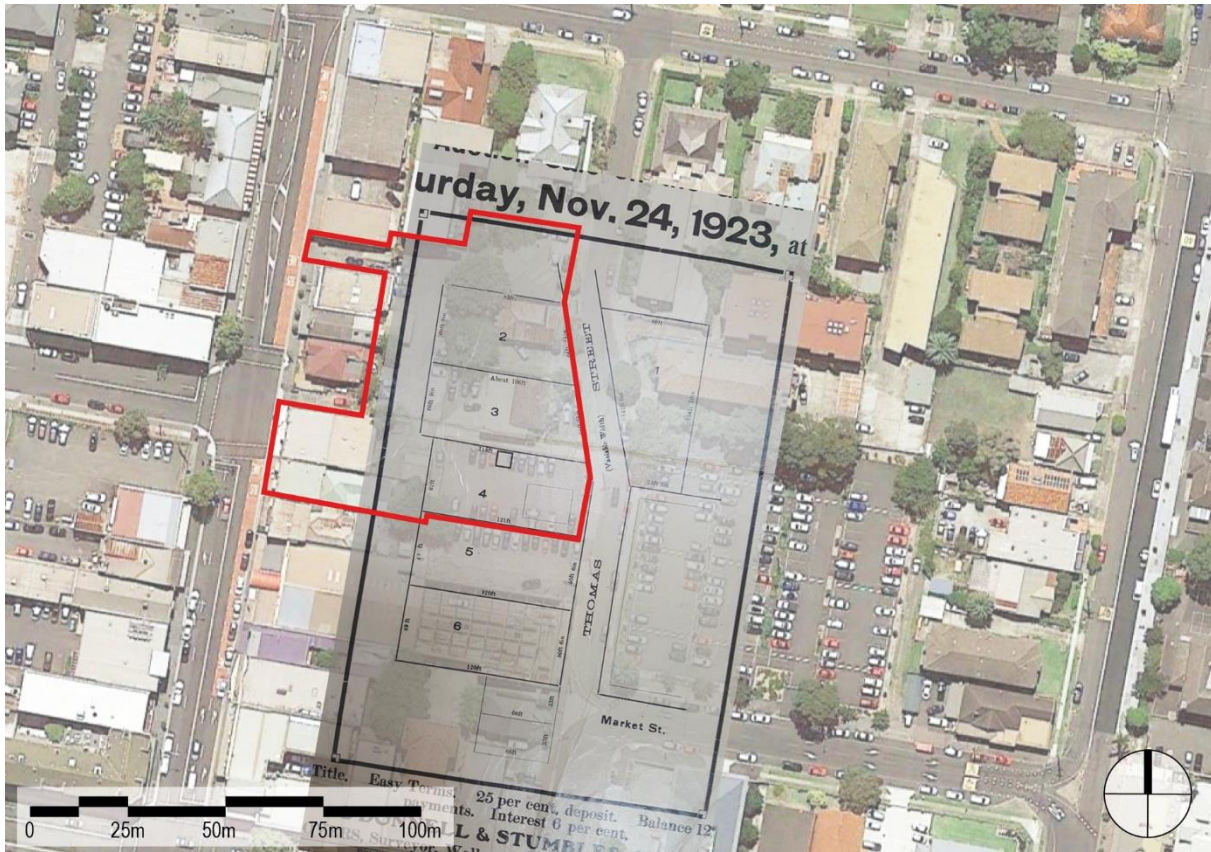


Figure 2.8 Detail from 1923 auction plan.<sup>32</sup> (Source: Wollongong City Library with GML overlay, 2016)

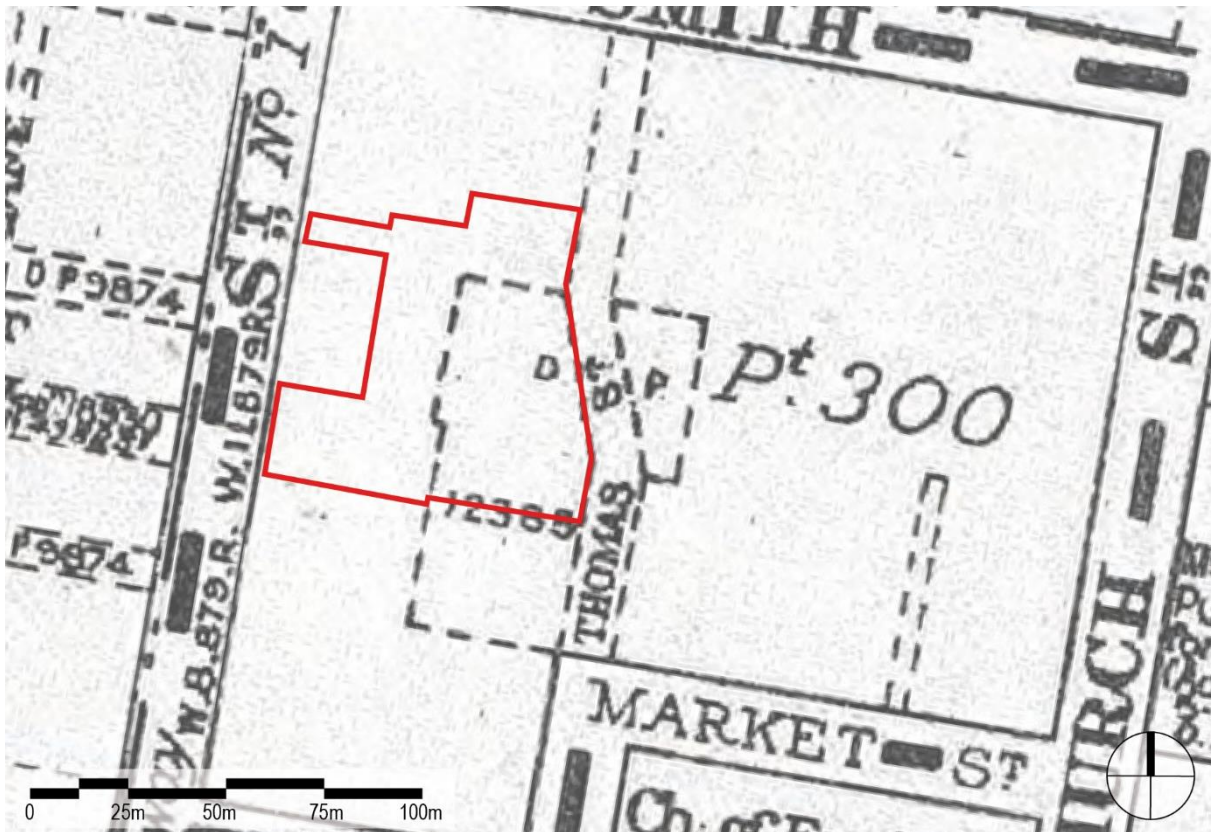


Figure 2.9 Detail from Wollongong Parish map, dated 1933.<sup>33</sup> (Source: Trove with GML overlay, 2016)

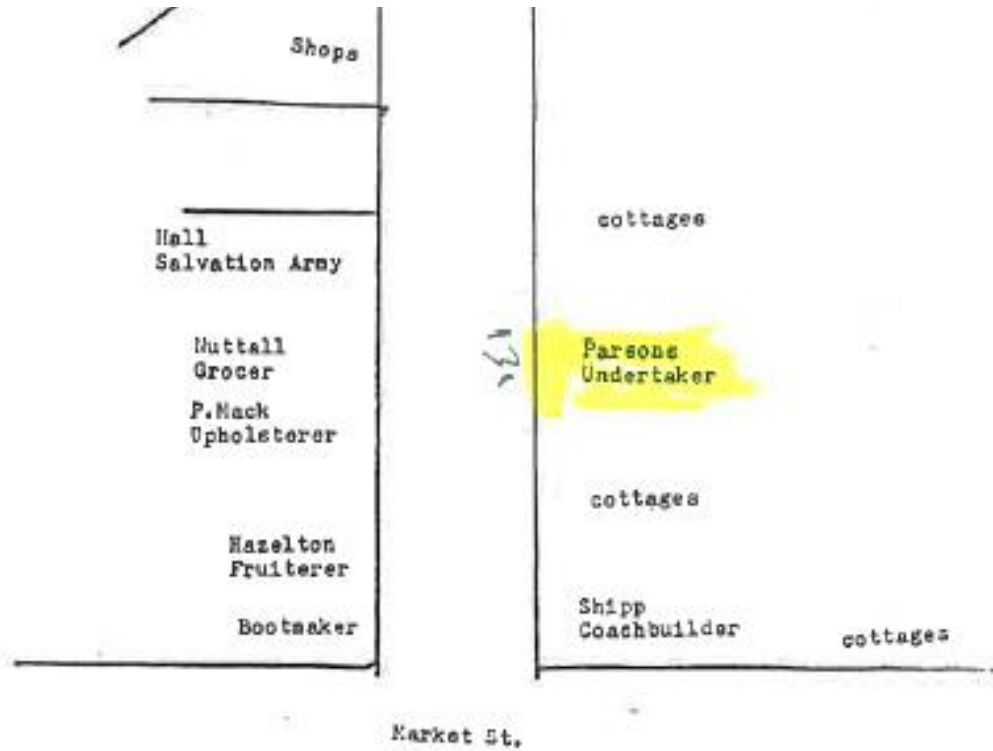


Figure 2.10 Sketch plan of businesses and properties along Keira Street c1915. (Source: Wollongong City Libraries)

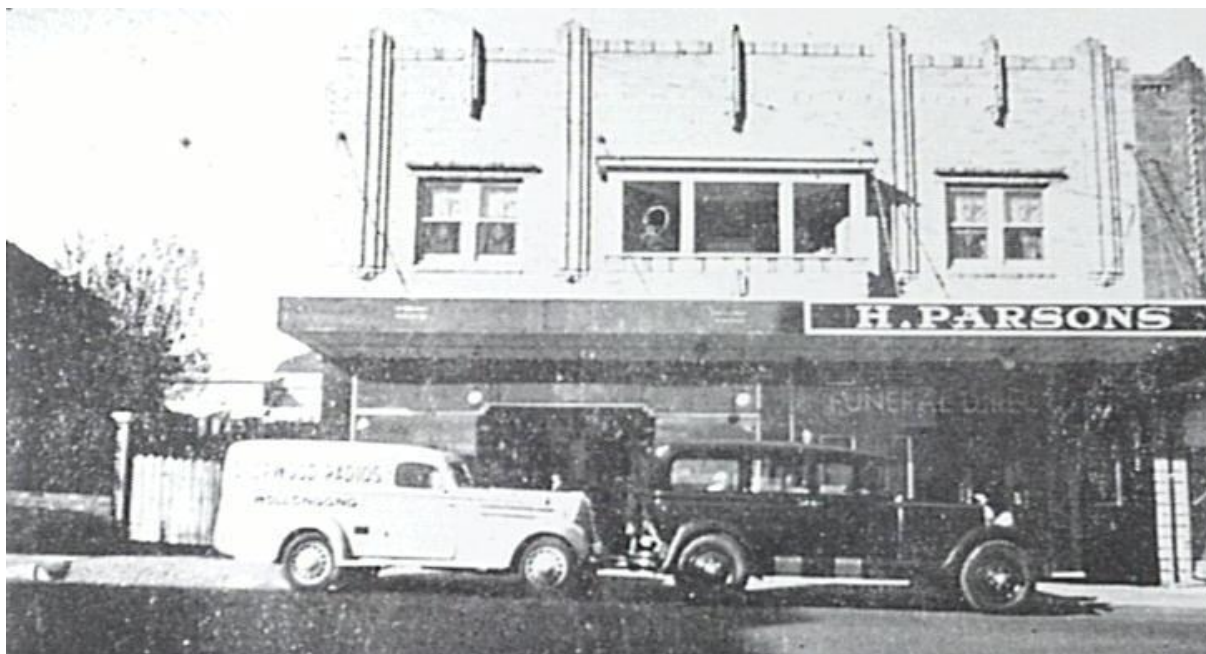


Figure 2.11 Parsons family residence at 4 Thomas Street c1937. (Source: Wollongong City Libraries, ref. P20/P20591)





**Figure 2.12** 1948 Aerial (Source: NSW LPI with GML overlay, 2016)



**Figure 2.13** Looking east at 131–141 Keira Street in 1937; the sign for H. Parsons Funeral Directors is visible on the right-hand building. (Source: Illawarra Images, no. P14/P14365)



**Figure 2.14** Looking southeast at 131–141 Keira Street (light coloured buildings at left), c1970s. (Source: Illawarra Images)



**Figure 2.15** 1977 Aerial. (Source: NSW LPI with GML overlay, 2016)

## 2.6 Endnotes

- <sup>1</sup> Kass, T, *A Thematic History of the City of Wollongong*, report prepared for City of Wollongong, May 2010, p 11.
- <sup>2</sup> Kass, T, *A Thematic History of the City of Wollongong*, report prepared for City of Wollongong, May 2010, p 19.
- <sup>3</sup> Kass, T, *A Thematic History of the City of Wollongong*, report prepared for City of Wollongong, May 2010, p 19.
- <sup>4</sup> Warne, K 2007, *Wollongong: Pictorial History*, Kingsclear Books, Alexandria, p 11; Kass, T, *A Thematic History of the City of Wollongong*, report prepared for City of Wollongong, May 2010, p 19.
- <sup>5</sup> 33/8124, Col Sec re Land, Charles Throsby Smith file, SRNSW 2/7972
- <sup>6</sup> Kass, T, *A Thematic History of the City of Wollongong*, report prepared for City of Wollongong, May 2010, p 23.
- <sup>7</sup> Kass, T, *A Thematic History of the City of Wollongong*, report prepared for City of Wollongong, May 2010, p 22.
- <sup>8</sup> Warne, K 2007, *Wollongong: Pictorial History*, Kingsclear Books, Alexandria, p 21.
- <sup>9</sup> Wollongong City Libraries, Wollongong, 2015, 'Wollongong: Parish of Wollongong County of Camden', viewed 11 August 2016 <<http://www.wollongong.nsw.gov.au/library/onlineresources/suburbprofiles/Pages/Wollongong.aspx>>.
- <sup>10</sup> Kass, T, *A Thematic History of the City of Wollongong*, report prepared for City of Wollongong, May 2010, p 23.
- <sup>11</sup> Warne, K 2007, *Wollongong: Pictorial History*, Kingsclear Books, Alexandria, p 25.
- <sup>12</sup> Rappoport Pty Ltd, 2015, Statement of Heritage Impact. Proposed Development at Keira and Thomas Street Wollongong NSW 2500, unpublished report, November 2015, p 21.
- <sup>13</sup> Kass, T, *A Thematic History of the City of Wollongong*, report prepared for City of Wollongong, May 2010, pp 61–72.
- <sup>14</sup> Wollongong City Libraries, Wollongong, 2015, 'Wollongong: Parish of Wollongong County of Camden', viewed 11 August 2016 <<http://www.wollongong.nsw.gov.au/library/onlineresources/suburbprofiles/Pages/Wollongong.aspx>>.
- <sup>15</sup> McIlwain, K, 'The Keira Street Story. Chapter 1: Early Days', *Illawarra Mercury*, viewed on 11 August 2016, <<http://features.fairfaxregional.com.au/keirast/content/chapter1.html>>.
- <sup>16</sup> Rappoport Pty Ltd, 2015, Statement of Heritage Impact. Proposed Development at Keira and Thomas Street Wollongong NSW 2500, unpublished report, November 2015, p 14.
- <sup>17</sup> Map of the town of Wollongong [cartographic material]: County of Camden, Land District of Wollongong N.S.W. 1891, National Library of Australia, ref. nla.obj-232428137; *Parish of Wollongong, County of Camden [cartographic material]: Land District of Wollongong Eastern Division N.S.W., compiled, drawn and printed at the Department of Lands, Sydney N.S.W. April 1897*. National Library of Australia, ref. nla.obj-232428357.
- <sup>18</sup> State Records NSW. Application no. 10138, February 1897.
- <sup>19</sup> *Wollongong Harbour, 1887*. Wollongong City Libraries Local Study Archives, Image P02764.
- <sup>20</sup> Osborne, F 2001, 'Wollongong lighted with gas', *Illawarra Historical Society Bulletin*, November 2001, pp 68–69.
- <sup>21</sup> *Plan of Ground for the Proposed Township of Wollongong, 1833*, Wollongong City Libraries, ref. 3 2500 01479 1538.
- <sup>22</sup> *Town of Wollongong, 1855–57*, Wollongong City Libraries, ref. 3 2500 01716 6712.
- <sup>23</sup> *78 Magnificent Allotments, town of Wollongong*, 5 April 1884. Wollongong City Libraries.
- <sup>24</sup> 'Makins Family Showed many talents', *Illawarra Mercury*. Information courtesy of Carol Herben, June 3 2015 p 34.
- <sup>25</sup> Errey, A, 'Parsons' Era Comes to an End', *Illawarra Mercury*, 13 February 1990, p 10.
- <sup>26</sup> McIlwain, K, 'Heritage sites intact', *Wollongong Advertiser*, 23 March 2016.
- <sup>27</sup> Alf Parsons' memories of early Illawarra, MSS 216/1-2.
- <sup>28</sup> Errey, A, 'Parsons' Era Comes to an End', *Illawarra Mercury*, 13 February 1990, p 10.
- <sup>29</sup> *Wiseman's Subdivision, Church Hill, Wollongong. Seven Choice Residential Blocks*, 1923. Wollongong City Libraries.
- <sup>30</sup> *Plan of cottage and ground, and 16 allotments, Church-Hill, Wollongong, to be sold by auction*, National Library of Australia ref. nla.obj-232441161.
- <sup>31</sup> *78 Magnificent Allotments, town of Wollongong*, 5 April 1884. Wollongong City Libraries.
- <sup>32</sup> *Wiseman's Subdivision, Church Hill, Wollongong. Seven Choice Residential Blocks*, 1923. Wollongong City Libraries.
- <sup>33</sup> *Map of the town of Wollongong and adjacent lands: parish of Wollongong, county of Camden, land district of Wollongong N.S.W. 1933*, compiled, drawn and printed at the Department of Lands.



### 3.0 Site Analysis

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This section provides a synthesis of the recent archaeological site inspection and review of the land use history to develop an understanding of the subject site's use, impacts and thus archaeological potential.

For the purpose of this assessment, past impacts are rated as either low, moderate or high levels of disturbance. These are defined as follows:

- low disturbance—minimal and/or superficial impact to the landscape which has resulted in little or no disturbance to subsurface remains, characterised by such activities as capping of areas with introduced fill, or construction of roads and pathways;
- moderate disturbance—shallow or localised impacts to the landscape, characterised by excavations for shallow building footings or service trenches; and
- high disturbance—largely disturbed landscape, characterised by such land use impacts as deep building footings (piled foundations, deep slab foundations), basements, or quarrying.

#### 3.1 Existing Site Survey

A survey of the site as existing has been completed by C. Robson and Associates Pty Ltd (Figure 3.22).<sup>1</sup> The detailed survey plan shows the variation in the existing ground level which slopes evenly downward from northeast to southwest. Along Thomas Street the ground level drops from 28.0m above Australian Height Datum (AHD) at the northeast site corner down to 26.0m AHD at the southeast corner; along Keira Street the ground level lies at 21.5m AHD at the northwest corner and 19.5m AHD at the southeast.

#### 3.2 General Site Description

An inspection of the site was undertaken on 9 September 2016 by Sophie Jennings of GML. The subject site was inspected for evidence of former ground disturbance. The purpose of the site inspection was also to take note of current site conditions and to ensure that GML personnel were familiar with the site and its context.

The site inspection was informed by historical evidence, site plans, survey plans and aerial photographs. During the inspection various aspects of the study area were recorded, including topography, ground levels across the site, presence/absence of basements and presence of sub-surface services. The following observations were made:

- 115–117 Keira Street: the eastern half of this area has been cut into the slope of the site and the entire area is level with Keira Street. A concrete ramp has been constructed providing access up to the carpark (Figure 3.1). To the right (south) of the ramp, bedrock is visible below the concrete surface of the adjacent carpark (Figure 3.2).
- Northern two-thirds of Lot DP 152849: this area is currently in use as a carpark and slopes noticeably downwards from east to west. The northern half of the carpark has a bitumen surface while the southern half is covered in loose gravel (Figures 3.4, 3.5 and 3.7). The northeast corner of the carpark has been artificially raised up (Figure 3.6). No evidence of terracing of this area was visible at the time of the site visit.



- 131–135 Keira Street: this plot is occupied by a two-storey brick building. The ground floor lies level with Keira Street and the eastern half of the ground floor has been cut into the existing slope by c1.5–2.5m (Figure 3.9). The driveway at the rear of this building cuts down into the slope of the site with its southern end lying at the same level as the ground floor (Figures 3.10–3.12). In the eastern half of this plot is a single-storey double garage founded on a concrete slab which is deeper at its southern end to accommodate the slope of the site (Figure 3.13).
- 137–141 Keira Street: the western third of the existing building is comprised of two storeys with the ground floor at the level of Keira Street. The rear extension consists of a single storey addition—as a result of the sloping nature of the plot, the western part of the building appears to have been raised up c1m above the level of Keira Street, while the eastern half has cut into the slope lying c1–1.5m below the surrounding ground level.
- 2A Thomas Street: the site is occupied by a single-storey residential property (Figure 3.14). The ground floor lies equivalent to the level of Thomas Street. The rear of the building (western half) has an enclosed lower floor which lies level with the back yard (Figure 3.15). Based on observations made during the site visit this lower floor extends across the width of the property and goes back c1–1.5m (ie does not extend across the entire building footprint).
- 2 Thomas Street: the site is occupied by a single-storey residential property supported on brick pier footings and does not have a basement level (Figures 3.16–3.17). The driveway on the southern side of the block and back yard slope down to the west (Figure 3.18).
- 4 Thomas Street: the site is occupied by a two-storey residential property—the ground floor lies level with Thomas Street (Figure 3.19). The lower level, comprising a two-car garage and adjacent basement area, has been cut into the existing slope of the site lying c2m below the height of Thomas Street (see Figure 3.20). Excavation for the lower level will have resulted in a high level of disturbance removing any earlier remains within the building footprint.
- 6 Thomas Street: this area is currently in use as a carpark (Figure 3.21). The area has a bitumen surface and slopes downwards from east to west. There was no visible evidence at the time of the site visit indicative of terracing or significant landscaping of this area.



**Figure 3.1** Looking west along driveway of 115–117 Keira Street. (Source: GML, 2016)



**Figure 3.2** Looking east at bedrock on southern side of carpark ramp. (Source: GML, 2016)



**Figure 3.3** Looking west along carpark ramp; Keira Street is visible in the background. (Source: GML, 2016)



**Figure 3.4** Looking south across carpark in centre of the site (part of Lot DP 152849). (Source: GML, 2016)



**Figure 3.5** Looking north across the carpark in the centre of the site (part of Lot DP 152849); the green garage is also visible in Figure 3.4. (Source: GML, 2016)



**Figure 3.6** Area of artificial ground-raising visible in northeast corner of the carpark (part of Lot DP 152849). (Source: GML, 2016)



**Figure 3.7** Looking west across the southern end of the carpark (part of Lot DP 152849). (Source: GML, 2016)



**Figure 3.8** Looking southeast at 131–135 (left) and 137–141 Keira Street (right). (Source: GML, 2016)



**Figure 3.9** Looking west along driveway adjacent to northern boundary of 131–135 Keira Street. (Source: GML, 2016)



**Figure 3.10** Looking west at the rear yard and driveway behind 131–135 Keira Street (rear façade in background). (Source: GML, 2016)





**Figure 3.11** Looking down the driveway at the rear of 131–135 Keira Street. (Source: GML, 2016)



**Figure 3.12** Looking up the driveway at the rear of 131–135 Keira Street. (Source: GML, 2016)



**Figure 3.13** Existing shed behind 131–135 Keira Street. (Source: GML, 2016)



**Figure 3.14** Looking southwest at front façade of 2A Thomas Street. (Source: GML, 2016)



**Figure 3.15** Looking southeast at rear façade of 2A Thomas Street. (Source: GML, 2016)



**Figure 3.16** Looking northwest at front façade of 2 Thomas Street. Visibility from street obscured by dense foliage. (Source: GML, 2016)





**Figure 3.17** Looking down the driveway on the southern side of 2 Thomas Street. (Source: GML, 2016)



**Figure 3.18** Brick footings beneath 2 Thomas Street. (Source: GML, 2016)



**Figure 3.19** Looking west at 4 Thomas Street. (Source: GML, 2016)



**Figure 3.20** Looking northeast at basement of 4 Thomas Street. (Source: GML, 2016)



**Figure 3.21** Looking west down driveway on southern side of 4 Thomas Street. The carpark at 6 Thomas Street is visible on left side of image. (Source: GML, 2016)

### 3.3 Site Land Use History

In addition to the site investigation, a desktop analysis of historical aerial photographs and plans has been undertaken to identify historic developments within the site which may have had an impact on archaeological remains but may no longer be visible in the current landscape.

#### 3.3.1 Building Construction Impacts

On the 1948 aerial (Figure 3.23) two sheds are located on the eastern side of the existing carpark in the centre of the site. The buildings appear to be single-storey sheds which likely have shallow footings such as a concrete slab similar to other structures which remain extant within the site. Although construction of these structures will have had a moderate level of impact to earlier remains within their footprint, as the age of the individual structures is not known there is the potential that these buildings may themselves hold archaeological interest.

A single-storey square building, likely a domestic residence, is also visible on the 1948 aerial photograph in the eastern half of the 6 Thomas Street plot (Figure 3.23). Excavation for the building footings will have had a localised impact within their footprint, resulting in a moderate level of disturbance to any earlier archaeological deposits. However, as noted above, the date of this building is also not known and may likewise be of archaeological significance.

#### 3.3.2 Services

A services plan for the site was not available at the time of writing. Excavation for services will have had a localised impact within the footprint of each service trench to the maximum depth of excavation (estimated to be c0.5–1m).

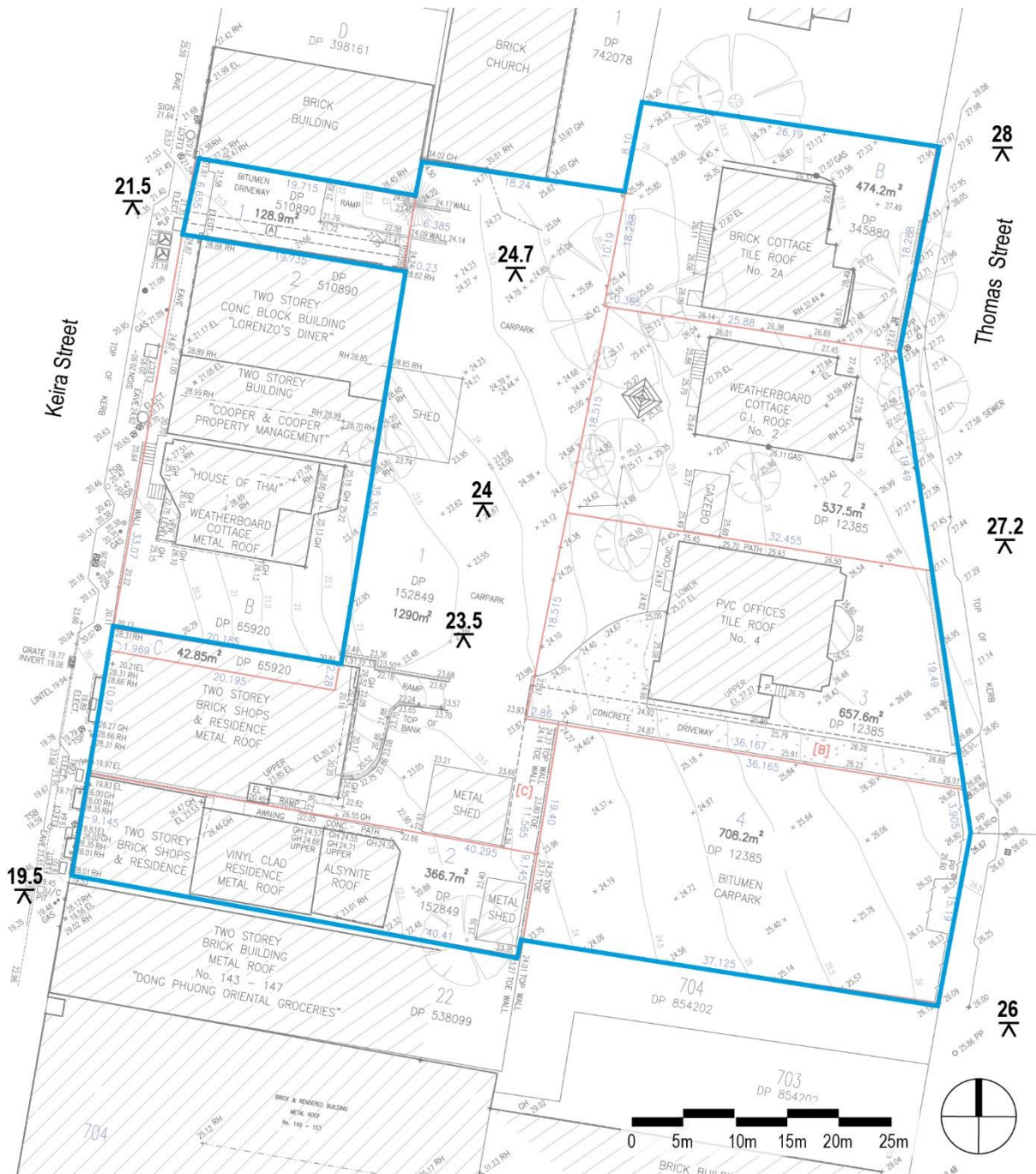
### 3.4 Discussion

The cumulative impact of the impacts documented above is set out in Table 3.1 to provide a summary of the nature and level of impact.

**Table 3.1** Summary of Past Development Impacts.

Building/Area	Known Impact	Level of Impact	Nature of Impact
2A Thomas Street	Building footings, potentially cutting and levelling	Moderate	Partially disturbed
2 Thomas Street	Building footings, potentially cutting and levelling	Moderate	Partially disturbed
4 Thomas Street	Building footings, cutting and levelling (basement)	Moderate to high	Completely disturbed within building footprint
6 Thomas Street	Building footings	Moderate	Partially disturbed
115–117 Keira Street	Cutting and levelling	Moderate to high	Partially disturbed (western half); completely disturbed (eastern half)
Northern two-thirds of Lot DP 152849	Shallow building footings	Moderate	Partially disturbed
131–135 Keira Street	Cutting and levelling, building footings	Moderate, with localised area of high impact	Partially disturbed
137–141 Keira Street	Cutting and levelling, building footings	Moderate, with localised area of high impact	Partially disturbed





**Figure 3.22** Existing site survey with the site outline shown in blue and key levels around the site noted in metres above Australian Height Datum (AHD). (Source: C Robson and Associates Pty Ltd with GML overlay)



**Figure 3.23** 1948 aerial photograph. (Source: NSW LPI with GML overlay)



**Figure 3.24** 1977 aerial photograph. (Source: NSW LPI with GML overlay)

### 3.5 Endnotes

- <sup>1</sup> C Robson and Associates Pty Ltd. 2016, Keira and Thomas Streets, Wollongong, Lots 2, 3 & 4 DP 12385, Lot 1 DP 510890, Lot B DP 345880 & Lot C DP 65920, Detailed Survey Plan, Drawing No. 15313/0 Revision A, May 2015, prepared for Sam Hanna & Co.

## 4.0 Assessment of Historical Archaeological Potential

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This section discusses the site's potential to contain archaeological resources. This assessment is based on consideration of the current site conditions and examination of historical information related to the development and occupation of the site. Evidence of demolition and construction activities that may have disturbed historical archaeological remains associated with former site features and activities have all been considered.

The term 'archaeological potential' is defined as the likelihood that a site may contain physical evidence related to an earlier phase of occupation, activity or development. This term is differentiated from 'archaeological significance' and 'archaeological research potential', which are more subjective statements on the value of the archaeological resource in terms of levels of significance and discussed in more detail in Section 6.0 of this report.

### 4.1 Previous Archaeological Investigations

To date, there have not been any archaeological excavations undertaken within the study area. To build up a picture of the potential historical archaeological remains which may be present within the subject site, a review of previous historical archaeological investigations undertaken within the historic core of Wollongong has been completed. The location of these investigations are shown on Figure 4.1.

#### 4.1.1 Biosis Pty Ltd—Junction of Crown and Corrimal Streets, Wollongong, 2014–2015

Two separate historical archaeological excavations were undertaken by Biosis at the junction of Crown and Corrimal Streets during 2014 and 2015.<sup>1</sup> Both sites are situated within the historic core of Wollongong and previously occupied by a number of prominent local businesses—such as the Elliotts Family Hotel (1841–1915), Oxford Hotel (1916–2014), Cricketers Arms Hotel (1859–1943), Temperance Hall (1871–1889) and a range of residential dwellings—several of which were recorded during the archaeological excavation.

The first site situated on the southeast corner of Crown and Corrimal Streets (Biosis 2014 on Figure 4.1) recorded footings of the Wollongong Head Inn constructed in 1841 along with several outbuildings containing a high density of late nineteenth-century artefacts. Substantial stone foundations of the later 1871 Temperance Society Hall were also recovered along with evidence of the fire which destroyed the building in 1889 in the form of an artefact rich burnt deposit within the building footprint.

The second excavation (Biosis 2015 on Figure 4.1), undertaken on the southwest corner of Crown and Corrimal Streets, recovered remains of the Cricketers Arms Hotel which occupied the site between 1859–1943. Remains of the hotel were comprised of a substantial sandstone cellar, with several residential dwellings, a wall and privies identified to the rear of the hotel. Artefactual remains uncovered included coins, bottles, ceramics, and household refuse.

#### 4.1.2 Anne Bickford and Associates—The Old Roman Catholic Cemetery Crown Street, Wollongong, 1995

An archaeological excavation on the site of the Old Catholic Roman cemetery was undertaken by Anne Bickford and Associates in December 1995.<sup>2</sup> The work was undertaken as part of the proposed Sportsground Trust's new Entertainment Centre site situated at the junction of Crown Street and Marine Drive (Figure 4.1). The burial ground was established on the site in 1830, several years before the township of Wollongong was laid out, and remained in use until 1861 when it was closed.<sup>3</sup> As the



purpose of the assessment was only to locate the burials prior to the completion of further community consultation as part of the development, the burials were not exhumed. Altogether within the area archaeologically monitored, 16 intact and two disturbed burials were found. As part of this investigation the location of each burial was plotted, a written and photographic record of their condition made, and then each burial was covered with a protective layer and left in situ.<sup>4</sup> Aside from the burials, no other evidence for historic development of the site was noted in the report.

## 4.2 Historical Archaeological Potential

### 4.2.1 Definitions

The term 'archaeological potential' is defined as the likelihood that a site may contain physical evidence related to an earlier phase of occupation, activity or development. This assessment is made by interpreting the results of the historical analysis (Section 2.0), including comparison with the outcomes of previous archaeological investigations within the general vicinity of the study area (Section 4.1), and reviewing these against the extent of previous physical disturbance which has occurred (Section 3.0) to determine the likelihood of historical archaeological remains to survive.

The following discussion focuses on the potential subsurface archaeological remains such as structural elements, occupational deposits, yards and paths in relation to the historic phases of development within the study area.

Archaeological potential is usually described as low, moderate or high, and is assessed as follows:

- Low—it is unlikely that archaeological evidence associated with this historical phase or feature survives;
- Moderate—it is possible that some archaeological evidence associated with this historical phase or feature survive. If archaeological remains survive they may have been subject to some disturbance; and
- High—it is likely that archaeological evidence associated with this historical phase or feature survives intact.

The historical archaeological potential has been assessed for the site as a whole, with areas of archaeological survival potential mapped on Figure 4.2.

Overall, the archaeological potential of the site is considered to be moderate or high across c70 per cent of the site area. This is confined to areas which have undergone limited disturbance as a result of recent developments—namely the carparks in the central and southeast sections of the site. There is a moderate potential for earlier structural remains beneath the properties on Thomas and Keira Streets outside of the footprint of the existing buildings' footings and basements. Those areas of the site containing basements, or those which have undergone a high degree of impact due to cutting and levelling, are considered to have a low potential for archaeological structures or deposits. The type of historical archaeological remains expected to be present within the subject site is set out in Table 4.1.



**Table 4.1** Potential Archaeological Features and the Associated Types of Archaeological Evidence that Could Be Present at the Site.

Site Feature	Types of Archaeological Evidence	Location and Integrity of Remains	Likelihood of Survival
Agricultural development	Agricultural soil profiles, structural remains, post holes, etc	Structural remains and deposits may survive within the centre and southeast of the site	Low to moderate
Late nineteenth or early twentieth-century building(s)	Building footings, cellars, artefact deposits	Structural remains and deposits may survive beneath the carpark surface at 6 Thomas Street	High
Late nineteenth or early twentieth-century building(s)	Building footings, cellars, artefact deposits	Truncated structural remains and deposits may survive beneath the western half of the buildings at 131–135 and 137–141 Keira Street	Moderate
Sheds and outbuildings, early services	Building footings, drains, etc	Remains may survive beneath the rear yards of the Thomas Street properties and carpark in the centre of the site	Moderate or high

**Figure 4.1** Location of previous archaeological investigations within the vicinity of the subject site. (Source: NSW LPI with GML overlay)





Figure 4.2 Plan of the subject site showing assessed archaeological potential. (Source: NSW LPI with GML overlay)

### 4.3 Endnotes

- <sup>1</sup> Biosis Pty Ltd, 2016, *Historical Excavations in Wollongong*, viewed 1 September 2016 <<http://www.biosis.com.au/2015/03/24/historical-excavations-in-wollongong/>>.
- <sup>2</sup> Anne Bickford and Associates, *The Old Roman Catholic Cemetery, Crown Street, Wollongong c1830–1995 Conservation Plan*, prepared for Wollongong City Council, August 1996.
- <sup>3</sup> Anne Bickford and Associates, *The Old Roman Catholic Cemetery, Crown Street, Wollongong c1830–1995 Conservation Plan*, prepared for Wollongong City Council, August 1996, p5.
- <sup>4</sup> Anne Bickford and Associates, *The Old Roman Catholic Cemetery, Crown Street, Wollongong c1830–1995 Conservation Plan*, prepared for Wollongong City Council, August 1996, pp 45–46.

## 5.0 Assessment of Significance

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### 5.1 Preamble

Archaeological significance refers to the heritage significance of known or potential archaeological remains. As with other types of heritage items, archaeological remains should be managed in accordance with their significance. In situations where development is proposed, this can influence the degree of impact that may be acceptable or the level of investigation and recording that may be required. This section assesses the significance of the potential archaeological resource at the study area against the NSW Heritage Branch (now Heritage Division) criteria.<sup>1</sup>

While subsurface archaeological remains often form an integral component of the overall significance of a heritage place, it is necessary to assess them independently from above ground, as well as other historic elements. Assessing the heritage value of these subsurface archaeological remains is made more difficult by the fact that their extent and nature is often unknown. It becomes necessary for judgements to be made on the basis of expected or potential attributes.

### 5.2 Assessment Framework

The assessment of significance of historical archaeological relics requires a specialised framework for consideration of their research potential. Generally, relics with a greater research potential will be of higher heritage significance. The most widely used framework for assessing archaeological research potential is three key questions developed by Bickford and Sullivan in 1984<sup>2</sup>:

1. Can the site contribute knowledge that no other resource can?
2. Can the site contribute knowledge that no other site can?
3. Is this knowledge relevant to general questions about human history or other substantive questions relating to Australian history, or does it contribute to other major research questions?

Use of the Bickford and Sullivan questions provides basic but essential information. In addition to the current NSW Heritage Criteria, the Heritage Branch has prepared a set of guidelines to allow consideration of how an individual archaeological site or relic may be assessed in its own right.

The significance assessment of the subject site's archaeological resource is carried out by applying criteria expressed in the publication *Assessing Significance for Historical Archaeological Sites and Relics*, prepared by the Heritage Branch, formerly Department of Planning (NSW) (now the Heritage Division, OEH, Department of Premier and Cabinet) in December 2009,<sup>3</sup> which also includes Bickford and Sullivan's questions.

### 5.3 Bickford and Sullivan's Questions

#### 5.3.1 Can the site contribute knowledge that no other resource can?

This desktop assessment has included an evaluation of available documentary evidence. Although available sources from the late nineteenth and early twentieth centuries suggest that the site remained undeveloped until the 1930s, this is contradicted by photographic evidence (as outlined in Section 2). Discrepancies between the historic sources demonstrates the lack of detailed knowledge currently available for the site and further highlights potential inconsistencies inherent in these sources which the potential archaeological resources of the site may clarify. Furthermore, evidence associated with

any surviving occupation or other artefact-bearing deposits may also provide insight into details of the activities that were carried out there which is currently not available through other readily accessible sources. For example, remains of building footings, outbuildings, fence posts etc may contribute valuable information on the establishment of Keira Street and its later development into a busy commercial district.

### **5.3.2 Can the site contribute knowledge that no other site can?**

The potential archaeological remains within the subject site may be able to provide physical evidence that could be used to supplement and test what is known about the place and its history from other sources. Desktop research into previous archaeological investigations within the Wollongong area has identified a limited number of historical archaeological excavations completed to date. Therefore, potential archaeological remains within the site would be a valuable resource to supplement the data currently available for the nineteenth and/or twentieth-century expansion of Wollongong.

### **5.3.3 Is this knowledge relevant to general questions about human history or other substantive questions relating to Australian history, or does it contribute to other major research questions?**

The subject site is situated on one of the main thoroughfares (Keira Street) within the historic township of Wollongong, which developed as a regional hub within the Illawarra district. A report on the thematic history of Wollongong produced for Wollongong City Council identified a number of key themes which encapsulate the historic development of the city.<sup>4</sup> Themes pertaining specifically to the subject site include:

- settlement—subdivision of the large estates: clearing land, farming, developing a dairy industry;
- establishing rural centres: development of private businesses; and
- community development—entering and leaving worldly existence.

The knowledge that may be derived from the archaeological investigation of this site may be able to address specific research questions under these themes which enhance our understanding of the development in the nineteenth and early twentieth century of Wollongong.

## **5.4 NSW Heritage Criteria for Assessing Significance Relating to Archaeological Sites and Relics**

### **5.4.1 Archaeological Research Potential (Current NSW Heritage Criterion E)**

Subsurface historical archaeological remains within the subject site are considered to have a high research potential to yield information on the development of Wollongong township as a whole, as well as the changing use of the site from agricultural or grazing land to a key commercial and residential area in the later nineteenth or early twentieth century. Although the archaeological remains are likely to be partially disturbed and/or fragmented as a result of more recent developments, the remains still contain the potential to contribute new information on the historic development of the site. For example, postholes could provide evidence for early land divisions, while structural remains and artefact bearing deposits may help to date when the site was first developed and what businesses operated.

The potential archaeological remains would meet this criterion at a local level.

#### **5.4.2 Associations with Individuals, Events or Groups of Historical Importance (NSW Heritage Criteria A, B & D)**

The archaeological remains within the subject site have the potential to enhance our understanding of key themes associated with early economic developments and the evolution of the site from agricultural land to busy commercial district. During the early to mid-twentieth century, the Parsons family owned several blocks within the site (131–135 Keira Street and 4 Thomas Street) and operated their undertaking business from the commercial premises on Keira Street. Although the historical connection to the Parsons family is primarily through the extant buildings at 131–135 and 4 Thomas Street, potential archaeological deposits associated with these buildings and any surviving remains of their earlier premises on Keira Street may contribute to our understanding of the Parsons' business which continues to operate in the Wollongong District. The site also originally formed part of the extensive land holdings of Charles Throsby Smith in the mid-nineteenth century, one of the key players in the early development of Wollongong. Although archaeological remains associated with this period may be present within the site, they are likely to be ephemeral and would not contribute any further knowledge on Throsby Smith's association with the site.

The potential archaeological remains associated with the Parsons family would meet this criterion at a local level.

#### **5.4.3 Aesthetic or Technical Significance (NSW Heritage Criterion C)**

While the degree of preservation is currently unknown as the potential archaeological remains are buried beneath existing developments, it is likely that any remains present would be fragmentary and unlikely to exhibit aesthetic characteristics. Additionally, the available historic sources do not indicate any activities occurring within the site that would display evidence of technical innovation or development visible through the archaeological record.

This criterion would not be met at a local level.

#### **5.4.4 Ability to Demonstrate the Past through Archaeological Remains (NSW Heritage Criteria A, C, F & G)**

The site contains extant heritage items of local significance that form part of the historic development of Wollongong. Surviving structural remains of early buildings, and associated artefact bearing deposits, have the potential to demonstrate earlier uses of the site. In particular, remains associated with the first premises occupied by the Parsons family have the potential to demonstrate a phase in the history of the study area's occupation and use. Structural remains and associated artefacts can provide physical evidence of the operation of the funerary business during the early twentieth century. Likewise, remains associated with potential late-nineteenth or early-twentieth century properties along Thomas Street could enrich our understanding of domestic occupation in the area.

The potential archaeological remains would meet this criterion at a local level.

### **5.5 Statement of Significance**

The archaeological resource of the Keira Street site holds local significance as a component of the early history and development of the city of Wollongong. The site lies within the historic core of Wollongong—initially forming part of a large agricultural land holding, later becoming part of the commercial hub along Keira Street from the late nineteenth into the twentieth century. Potential archaeological remains are likely to comprise structural remains of late-nineteenth or early-twentieth century buildings and associated artefact deposits which have the potential to enhance our



understanding of this area beyond what can be ascertained from the available documentary evidence. Additionally, the site is associated with the Parsons family, who operated their undertaking business within the site during the early to mid-twentieth century, and continue to operate in the Illawarra region.

## 5.6 Endnotes

- <sup>1</sup> Heritage Branch, December 2009, *Assessing Significance for Historical Archaeological Sites and 'Relics'*, Heritage Branch of the Department of Planning, Sydney.
- <sup>2</sup> Bickford, A and Sullivan, S 1984, 'Assessing the Research Significance of Historic Sites', in Sullivan, S and Bowdler, S (eds), *Site Surveys and Significance Assessment in Australian Archaeology* (proceedings of the 1981 Springwood Conference on Australian Prehistory), Department of Prehistory, Research School of Pacific Studies, the Australian National University, Canberra.
- <sup>3</sup> Heritage Branch, December 2009, *Assessing Significance for Historical Archaeological Sites and 'Relics'*, Heritage Branch of the Department of Planning, Sydney.
- <sup>4</sup> Kass, T, *A Thematic History of the City of Wollongong*, report prepared for City of Wollongong, May 2010, p MMCXLI.

## 6.0 Archaeological Impact Assessment

### 6.1 Description of the proposal

The proposed development is for construction of a new mixed-use seven-storey building containing residential apartments and commercial space. The proposed multi-storey building would occupy c70 per cent of the site footprint and contain two basement levels. Basement 1 would have a floor level of 23.8m Australian Height Datum (AHD), with Basement 2 lying at 21.0m AHD and equivalent to the level of Keira Street (Figures 6.1 and 6.2).

The proposed development would retain parts of the buildings at 131–135 and 137–141 Keira Street; all other buildings on the site would be demolished. Landscaping would be completed around the building perimeter.

### 6.2 Potential Archaeological Impacts

The main impact on potential archaeological remains within the site would arise from excavation for the proposed basement levels. The proposed basement levels would extend to depths of between 2.5m (within the centre of the site) and 6–7m (along Thomas Street) below the existing ground surface. Most of the basement footprint lies within areas considered to have a moderate or high potential for historical archaeological structures and deposits, and excavation for Basements 1 and 2 in these areas would completely remove any archaeological remains present.

Demolition of the existing buildings would potentially result in localised impacts to archaeological remains where excavation below the existing ground level is required to remove building footings or redundant services.

Excavation and installation of new services would have an impact within the service trench footprint where these works occur outside the footprint of the proposed Basement 2 level.

The nature of any renovation works proposed for the properties at 131–135 and 137–141 Keira Street is currently unknown. Should these works entail excavation below the existing floor slab (ie installation of services, underpinning of existing footings etc) this may potentially have an impact on any archaeological remains which may be present within the western half of these buildings (along the Keira Street frontage) depending of the depth and extent of any proposed works.

Table 6.1 summarises the potential impacts to historic archaeological remains within the subject site which may arise during the various phases of demolition and construction works as part of the proposed development.

**Table 6.1** Summary of Potential Impacts to Archaeological Remains within the Subject Site.

Activity	Area(s)	Degree of harm
Demolition	All of site (excluding 131–135 and 137–141 Keira Street)	Partial removal of historical archaeological remains to the maximum depth of excavations
Basement excavation and foundations	Northern half of 131–135 Keira Street—existing carpark, 2A Thomas Street, 2 Thomas Street, 4 Thomas Street, 6 Thomas Street	Complete removal of historical archaeological remains within the basement footprint

New services	All areas outside the proposed basement footprint	Complete removal of historical archaeological remains within each service trench footprint
Renovation works of heritage buildings (131–135 and 137–141 Keira Street)	Works such as new services, underpinning, new floor slabs etc	Localised or completed removal of historical archaeological remains within the footprint of these works

### 6.3 Mitigation Measures

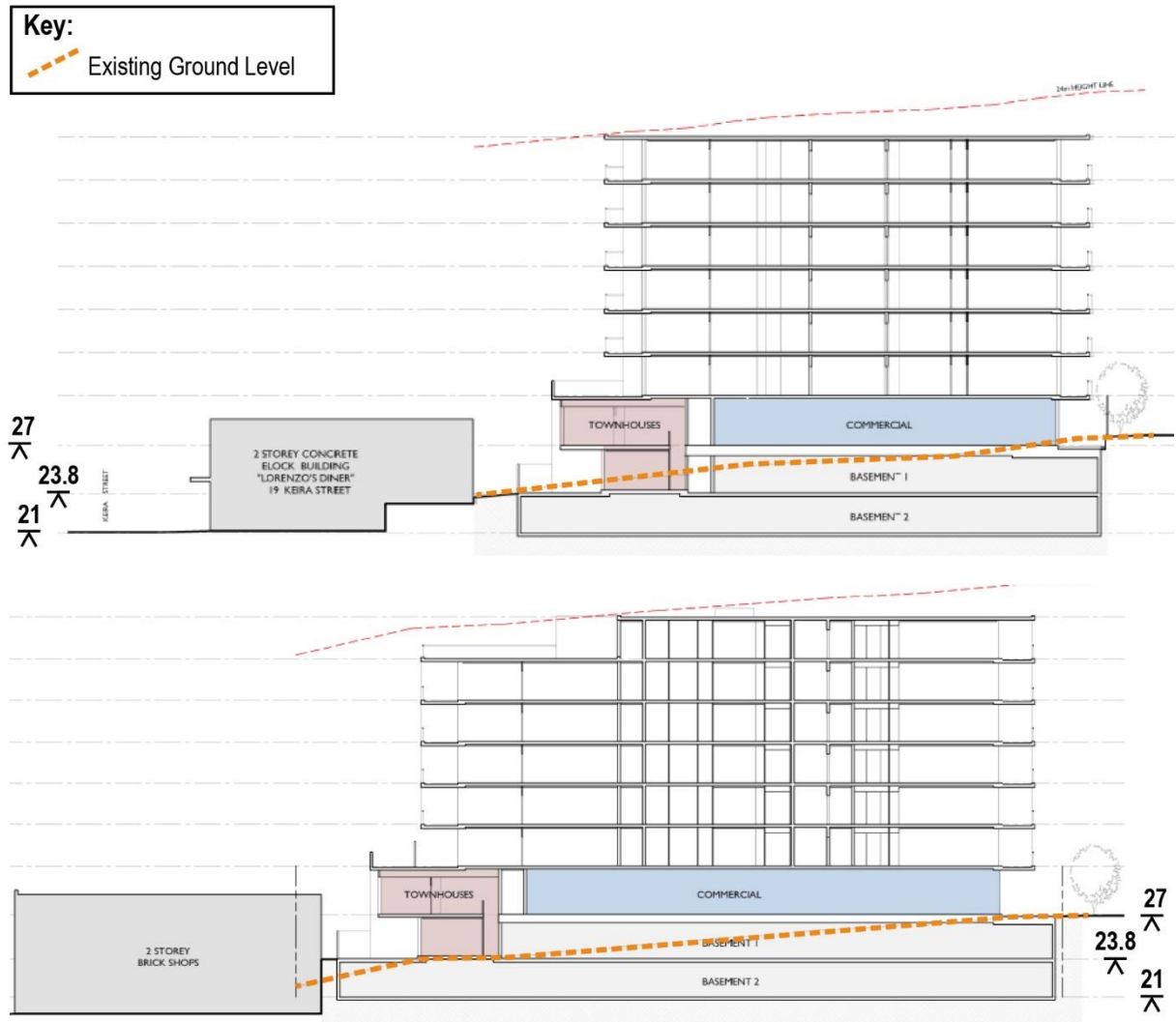
Based on this assessment, it is considered that the proposed development would result in a high level of impact on archaeological ‘relics’ and ‘works’ as may be present within the subject site. The subject site is considered to have a moderate to high potential for archaeological deposits spanning from the mid-nineteenth to the early twentieth centuries. These deposits are considered to be of local significance. The significance of the site’s archaeological resources is primarily derived from its research potential and ability to be interpreted for public benefit.

To mitigate against potential impacts which may arise from demolition works and subsequent excavation for the basement levels, it is recommended that a program of archaeological test excavation within the development footprint is undertaken. This will help to determine the location of the predicted archaeological remains and assess their degree of survival and intactness.

Following the results of the testing program, further recommendations, including possible archaeological monitoring and detailed open area excavation, could be provided. This is to ensure that any potential historical archaeological resource be appropriately identified and recorded, in accordance with an approved Archaeological Research Design, so that the research potential of such resources can be fully realised.

Interpretation of the archaeological remains could supplement/complement the locally listed heritage items and would help to communicate the history and heritage to the community through various media, as determined appropriate to the significance of the resources found. Interpretation may include signage, artefact display or other types of interpretation considered to be appropriate for the site.

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**Figure 6.2** Proposed south-facing sections through northern (top) and southern (bottom) halves of the site. (Source: Knight Frank Town Planning with GML overlay, 2016)



## 7.0 Conclusions and Recommendations

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### 7.1 Conclusions

- The site is located on Keira Street, one of the main thoroughfares through the historic core of Wollongong, and was first developed in the late nineteenth or early twentieth century.
- Based on the assessed low level of impacts arising from previous developments, c80 per cent of the site has been assessed as holding moderate to high archaeological potential. Portions of the site along the Keira Street frontage and beneath 4 Thomas Street are considered to have a low potential for archaeological remains where construction of the existing buildings is likely to have completely removed earlier remains.
- The potential archaeological resources within the site is assessed as having local significance for its potential to contribute additional information on the historic development of the area and its association with a prominent local family business which continues to operate within the district.
- The proposed development works would result in a high level of disturbance to archaeological remains within the footprint of the proposed basement levels across c70 per cent of the site. Construction of foundations, excavation for services and landscaping would have localised impacts where these works are situated outside the basement footprint.
- The potential archaeological remains that may still exist within the site have been assessed to be significant at local level and, as such, they constitute 'relics' within the definition of the Heritage Act.

### 7.2 Recommendations

- A program of historical archaeological test excavation should be undertaken to determine the nature, condition and extent of potential archaeological remains identified in this report. The results of test excavation would provide physical evidence relating to the depths of fill on site in areas that may be subject to basement excavation, service installation and/or landscaping.
- Should the program of historical test excavation identify substantial and/or significant historical archaeological remains, further excavation and recording of these features may be required following demolition of the existing structures on the site, in accordance with an approved Archaeological Research Design.
- Any program of archaeological excavation would need to be undertaken in accordance with an excavation permit under Section 140, or an exception from the need for an excavation permit under Section 139(4) of the Heritage Act.
- The results of archaeological test excavation and recording of the site should be presented in a succinct excavation report and used to inform future historical heritage management and interpretation measures, if appropriate, as part of the proposed development of the site.
- Any retrieved historical artefactual material would be the responsibility of the owner of the site. This includes appropriate treatment of the artefacts, and their long-term storage in a safe and accessible place.

- In the event that intact state significant historical archaeological evidence or archaeological evidence not identified in this report were to be encountered during site works, works should cease and the NSW Heritage Division OEH be notified immediately, in accordance with Section 146 of the Heritage Act. Further assessment and/or approval may be required before works could recommence.
- A copy of this report and any other relevant reports subsequently prepared as part of this project should be sent to the NSW Heritage Division OEH for their records.